

City of Lake Stevens Vision Statement

By 2030, we are a sustainable community around the lake with a vibrant economy, unsurpassed infrastructure and exceptional quality of life.

CITY COUNCIL REGULAR MEETING AMENDED AGENDA
Lake Stevens School District Educational Service Center (Admin. Bldg.)
12309 22nd Street NE, Lake Stevens

Tuesday April 11, 2017 – 7:00 p.m.

NOTE:

WORKSHOP ON VOUCHERS AT 6:45 P.M.

CALL TO ORDER:	7:00 P.M.	Mayor
PLEDGE OF ALLEGIANCE		Mayor
ROLL CALL:		
APPROVAL OF AGENDA:		Council President
CITIZEN COMMENTS:		
NEW EMPLOYEE INTRODUCTIONS		Steve
COUNCIL BUSINESS:	Subcommittee Updates	Chair
MAYOR'S BUSINESS:		
CITY DEPARTMENT REPORT:	Update	
CONSENT AGENDA:	*A Approve 2017 Vouchers	Barb
	*B Approve City Council Special Meeting Minutes March 11-15,2017	Barb
	*C Approve City Council Workshop Meeting Minutes of March 28, 2017	Barb
	*D Approve City Council Regular Meeting Minutes of March 28, 2017	Barb
PUBLIC HEARING:	<u>PUBLIC HEARING FORMAT:</u>	
	1. Open Public Hearing	Mayor
	2. Staff Presentation	
	3. Council's Questions of Staff	

Lake Stevens City Council Regular Meeting Agenda

April 11, 2017

- 4. Public Comments
- 6. Close Public Comments Mayor
- 7. Close Public Hearing Mayor
- 8. Re-open public comment portion of the hearing for additional comments (optional)
- 9. Close Hearing
- 10. COUNCIL MOTION/DELIBERATION/ACTION:
 - a. Approve
 - b. Deny
 - c. Continue
 - d. Remand

- *A Closed Record Public Hearing: Approve Ordinance 993 re Lyons Gate II Rezone Melissa
- *B Approve 2017 Comprehensive Plan Docket Stacie

ACTION ITEMS:

- *A Approve Nomination of John Vicente to Design Review Board Mayor
- *B Approve Nomination of Tina Decker to Parks Board Mayor
- *C Approve Amendment No. 1 to Professional Services Agreement with ISOsource Troy
- *D Approve Supplement Amendment No. 1 to Professional Services Agreement with AquaTech for Treatment of Eurasian Milfoil Eric
- *E Approve Concession Agreement with PaddleBroz Russ
- *F Approve Affordable Housing Agreement Funding Russ
- *G Establish Salary Range for Human Resources Director Gene
- *H Approve Services Agreement with Strategies 360 Gene

DISCUSSION ITEMS:

EXECUTIVE SESSION:

ADJOURN

* ITEMS ATTACHED	** ITEMS PREVIOUSLY DISTRIBUTED	# ITEMS TO BE DISTRIBUTED
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**THE PUBLIC IS INVITED TO ATTEND
 Special Needs**

The City of Lake Stevens strives to provide accessible opportunities for individuals with disabilities. Please contact Steve Edin, City of Lake Stevens ADA Coordinator, (425) 377-3227, at least five business days prior to any City meeting or event if any accommodations are needed. For TDD users, please use the state's toll-free relay service, (800) 833-6384, and ask the operator to dial the City of Lake Stevens City Hall number.

NOTICE: All proceedings of this meeting are audio recorded, except Executive Sessions



CITY DEPARTMENT REPORT
APRIL 11, 2017 CITY COUNCIL MEETING

Planning Department

Administration

- Kick off meeting for Chapel Hill Master plan held April 6, 2017 – schedule developed
- Kick off meeting for North Cove Park plan held April 6, 2017
- Coordination on Temporary Campus on-going

Building / Current Planning

- 9 new building permit applications / 43 permits issued
- 8 new business licenses
- 15 new land use applications / 1 approved

Code Enforcement

- 7 active violations
- 9 complaints resolved

Long Range Planning

- Planning Commission has recommended approval of the 2017 Docket
- Planning Commission has reviewed amendments to the Stormwater and LID Codes
- Planning Commission will review proposed Permit Extension and Local Business code amendments
- The DNR is reviewing the proposed Land Disturbance code modifications
- Public meeting for Machias Industrial Annexation scheduled for April 20.

Economic Development

- Lake Stevens' surplus properties have had 436 views on the Commercial Broker's Association website
- The southwest quadrant of 20th Street SE has had significant interest.
- Coordinating a utility coordination meeting for the southwest quadrant of the 20th Street corridor. The purpose of the meeting is to start communication, share information and discuss potential utility opportunities and conflicts of Lake Stevens' largest land-use opportunity. Attendees include WDOT, PSE, LS Sewer, SNOFUD, City of Everett water, and telecommunications

Parks & Recreation

- Eagle Ridge Park Permit under review
- Lundeen Park Permit under review
- Coordinating ILAs with Snohomish County
- Reviewing possible park locations to serve the southeast portion of the city

Police Department

- **Cases of interest**
 - For all intents and purposes, the Keita case is closed. We still have a couple of items that we are waiting for, which we will add to the case when we receive it. Of course if we receive any information, we will reopen the case. All of the case package (195 pages) have been released to four different media agencies who had put in a public disclosure request.

- **Personnel Update**
 - On 04-07-17, we held interviews for the second Commander position, and should have a final decision soon.
 - We are moving into background investigations on two lateral candidates, who will fill the spot left from Jim Barnes, and the traffic Officer.
 - We are working with the Guild, to move ahead with the Corporal Program.
 - Once these three items are completed, we will be completed with the reorganization, and fully staffed.

- **Notes of Interest**
 - On Thursday, April 6th, we held our first meeting with Makers, reference the new building plans.
 - I went to a Fairweather Pointe Association meeting. We are working on an Action Plan to address one of the units that is of concern to many homeowners.
 - We are working on a comprehensive Traffic Action Plan. Commander Brooks is heading this up. Once completed, I will share it with Council.
 - I will be having shoulder surgery on April 10th, so will be out for a few days.
 - Between April 17 - April 28th, I will be attending the Equivalency Academy in Burien. This is required as I was out of Washington State for more than 2 years.

Public Works Department

- **General Maintenance**
 - PW Maintenance crews responded and completed 107 work order requests.
 - Catherine Creek Enhancements
 - ✓ All of the Hazard trees have been removed, minor grading will occur the week of the 10th. Trees and shrubs have been ordered to replant the area of disturbance.
 - Eagle Ridge Park/ Food Bank Storage Building Power
 - ✓ Crews have constructed a new parking area, and are working on installing new water lines and cleaning up the park to facilitate the new Community Garden. CDI has been working on repairing and replacing the power to the garden and the Food Bank storage building.
 - Lundeen Park Tree Removal
 - ✓ All Phase Brush & Land Clearing will be removing the last 16 danger trees starting the week of April 10th. Fill from the City Hall project will be used to level up the area to the west so new landscaping and trees can be planted. The VIC sign is complete except for landscaping which is scheduled to be completed in April.
 - Tot Lot clean up
 - ✓ The Crews have replaced rotten wood borders at various tot lots and will be topping them off with new chips on April 18th and 19th
 - Rectangular Rapid Reflective Beacon installation
 - ✓ Three pairs of solar powered crosswalk signs have been received and assembled and will be installed in April.
 - Other maintenance projects for 2017 include.

- Street overlays
 - Crack sealing of streets
 - Long line striping
 - Thermoplastic for turn lanes cross walks etc.
- **Projects:**

Public Works has a lot of projects in the works for 2017 and we are very short handed so consultants will be needed to help facilitate this work load. A brief list is below.

 - 20th Street Phase 2
 - Callow Road stabilization, working with Otak Consulting Engineers
 - South Lake Stevens shoulder widening working with CHS Consulting Engineers
 - 24th Street SE Extension and regional storm pond – we have received a Scope of Work from Lochner Consulting Engineers and plan to bring it to Council on April 25th
 - 91st Ave and Market round about (innovative safety grant)
 - 91st Ave and 4th Street sidewalks (safe route to school grant)
 - 79th Ave extension
 - Aerator removal
 - Temporary City Hall
 - **Staffing:**
 - We have selected a candidate for the Senior Engineer position and are working through the offer process.
 - Mathew Goad Our Engineer Tech turned in his resignation and his last day was March 31. This position has been posted.
 - Public Works has received applications and will be hiring 4 seasonal positions, 2 in streets/parks and 2 in facilities/storm. Interviews are scheduled for April 10th
 - **Equipment**
 - Several pieces of equipment were approved in the 2017 budget. We have recently had some maintenance issues come up with one of our mowers; it is in disrepair and past life expectancy. Public Works has demoed a few new machines that will likely come back for future approval. Additional new maintenance staff has resulted in a shortage of basic work trucks and staff has been using a couple of the old police Crown Vics.
 - The new sweeper has been ordered
 - The new boom truck has been ordered
 - The new flatbed truck has been ordered

Human Resources Department

- Senior Engineer candidate interviews took place on 3/28/2017. A final candidate has been selected for the background check process.
- HR is currently recruiting for a new Police Records Clerk to backfill Jenn Anderson's position.
- Seasonal Parks Worker interviews are in the process of being scheduled.
- The Building Official recruitment process ended April 7th. Interviews are in the process of being scheduled.
- Commander interviews took place on April 7th. A final candidate will be selected for the background check process.
- HR is currently recruiting for an Engineering Technician to replace Mathew Goad.



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**BLANKET VOUCHER APPROVAL
 2017**

Payroll Direct Deposits	3/31/2017	\$166,389.71
Payroll Checks	42254-42256	\$6,350.95
Tax Deposit(s)	3/31/2017	\$66,408.27
Electronic Funds Transfers	ACH	\$216,282.96
Claims	42251-42253, 42257-42347	\$190,743.57
Void Checks	41861, 41753	(\$657.40)
Total Vouchers Approved:		\$645,518.06

This 11th day of April 2017:

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment or a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Lake Stevens, and that I am authorized to authenticate and certify to said claim.

 Finance Director/Auditing Officer

 Mayor

We, the undersigned Council members of the City of Lake Stevens, Snohomish County, Washington, do hereby approve for payment of the above mentioned claims:

 Councilmember

April 11th, 2017



CITY OF LAKE STEVENS

City Expenditures by Type on this voucher packet		
Personnel Costs	\$	172,741 27%
Payroll Federal Taxes	\$	66,408 10%
Retirement Benefits - Employer	\$	81,668 13%
Medical Benefits - Employer	\$	119,924 19%
Employer paid Benefits - By Check	\$	7,680 1%
Employee paid benefits - By Payroll	\$	12,711 2%
Supplies	\$	15,203 2%
Professional Services*	\$	94,338 15%
Intergovernmental Services	\$	36,272 6%
Capital**	\$	39,230 6%
Void Checks	\$	(657) 0%
Total		\$645,518.06 100%

Large Purchases

- * Legal fees make up a large portion of professional services
- ** City Hall demo charges make up \$36,753 of capital costs



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total	\$	
Ace Hardware	42264							Check Total	\$279.76
		4/6/2017	53925	101-016-544-90-31-01	ST-Office Supplies	Saw/Plier	\$45.71		
			53989	001-012-557-30-31-00	CS-Visitor Center	Inspection corrections on VIC monument sign	\$66.37		
			53998	001-012-557-30-31-00	CS-Visitor Center	Inspection corrections on VIC monument sign	\$4.35		
			54028	001-012-557-30-31-00	CS-Visitor Center	Inspection corrections on VIC monument sign	\$1.08		
			54039	001-008-521-20-31-02	LE-Minor Equipment	Bucket/brush/Rain X	\$39.15		
			54042	001-012-557-30-31-00	CS-Visitor Center	Inspections corrections for VIC sign	\$9.79		
			54068	101-016-544-90-31-02	ST-Operating Cost	Plug plate Breaker filler plate at shop	\$4.18		
				410-016-531-10-31-02	SW-Operating Costs	Plug plate Breaker filler plate at shop	\$4.18		
			54086	001-013-594-18-60-02	GG - City Hall Demo	Downspouts & gutters for permit center	\$54.26		
			54087	101-016-544-90-31-02	ST-Operating Cost	Work gloves	\$17.41		
			54088	101-016-544-90-31-02	ST-Operating Cost	Work gloves	\$17.41		
			54143	001-008-521-50-30-00	LE-Facilities Supplies	Battery	\$6.52		
54164	001-008-521-20-31-02		LE-Minor Equipment	Liquid Wrench	\$9.35				
Advance Auto Parts	42265							Check Total	\$135.59
		4/6/2017	2421-254560	101-016-544-90-31-02	ST-Operating Cost	Glass cleaner/Armorall	\$11.31		
				410-016-531-10-31-02	SW-Operating Costs	Glass cleaner/Armorall	\$11.30		
			2421-254807	001-010-576-80-31-00	PK-Operating Costs	Battery cable PW38	\$7.49		
			2421-254832	001-010-576-80-31-00	PK-Operating Costs	Battery PW29	\$33.07		
				101-016-544-90-31-02	ST-Operating Cost	Battery PW29	\$33.08		
				410-016-531-10-31-02	SW-Operating Costs	Battery PW29	\$33.08		
			2421-255166	001-010-576-80-31-00	PK-Operating Costs	Coupling	\$0.69		
				101-016-544-90-31-02	ST-Operating Cost	Coupling	\$0.68		
				410-016-531-10-31-02	SW-Operating Costs	Coupling	\$0.68		
2421-255192	001-010-576-80-31-00		PK-Operating Costs	Fuel filters PW33	\$4.21				
AFLAC	0							Check Total	\$1,823.06
		4/4/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Employee paid Insurance Prem	\$1,823.06		
Assoc of Washington Cities EFT	0							Check Total	\$119,923.51
		4/6/2017	033117	001-000-283-00-00-00	Payroll Liability Medical	Medical Insurance Premium	\$119,923.51		
Rick Carlson	42266							Check Total	\$4,503.56
		4/6/2017	3-21-17	001-010-576-80-41-01	PK -Professional Tree Srv	Dangerous Trees removed from 1820 Main St	\$4,998.51		
				621-000-389-20-00-02	Retainage - Other PW Project	Retainage - All Phase Brush & Land Clearing	(\$494.95)		



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total		
CDW Government Inc	42267							Check Total	\$2,929.02
		4/6/2017	HGB7131	510-006-594-18-64-00	Capital - Purch Computer Equip	Dell E2316H Monitor serial B13H492	\$164.12		
			HGD5612	510-006-518-80-49-00	License Renewal - Annual Maint	Watchguard XTM license renewal	\$1,174.64		
			HGG4841	510-006-594-18-64-00	Capital - Purch Computer Equip	Surface PRO 4 with cover and dock	\$1,573.64		
			HHQ7072	510-006-518-80-31-00	Purchase Computer Equipment	Mini DisplayPort HDMI Video Adapter	\$16.62		
CHS Engineers LLC	42268							Check Total	\$2,222.16
		4/6/2017	371404	001-007-558-50-41-01	PL-CA-Developer Reimb	LUA2016-0199 Inholt Short Plat	\$698.24		
			371608	001-007-558-50-41-01	PL-CA-Developer Reimb	LUA2016-0090 Stevens Ridge Estates	\$471.60		
			371701	001-007-558-50-41-01	PL-CA-Developer Reimb	LUA2016-0192 Lee Lot Consolidation	\$523.68		
			371702	001-007-558-50-41-01	PL-CA-Developer Reimb	LUA2016-0201 Soper Hill Rd ROW Vacation	\$528.64		
City of Everett	42269							Check Total	\$1,665.00
		4/6/2017	117000421	001-008-554-30-51-00	LE-Animal Control	Animal shelter services January 2017	\$1,665.00		
Civicplus	42270							Check Total	\$4,945.60
		4/6/2017	163475	510-006-518-80-49-00	License Renewal - Annual Maint	Lake Stevens Police Website Annual Hosting fee	\$650.00		
			163476	510-006-518-80-49-00	License Renewal - Annual Maint	Lake Stevens Busniess Development Website Annual Hosting fee	\$650.00		
			163482	510-006-518-80-49-00	License Renewal - Annual Maint	Annual Fee for Website Hosting & Support	\$3,645.60		
Comcast	42271							Check Total	\$95.68
		4/6/2017	0808840 0317	001-010-576-80-42-00	PK-Communication	Internet serivces - City Shop	\$31.90		
				101-016-543-30-42-00	ST-Communications	Internet serivces - City Shop	\$31.89		
				410-016-531-10-42-00	SW-Communications	Internet serivces - City Shop	\$31.89		
	42272							Check Total	\$155.68
		4/6/2017	1009612 0317	001-013-518-20-42-00	GG-Communication	Internet services - VIC	\$155.68		
	42273							Check Total	\$115.68
		4/6/2017	0692756 0317	001-008-521-20-42-00	LE-Communication	Internet services - Market Pl	\$115.68		
	42274							Check Total	\$95.68
		4/6/2017	0810218 0317	001-008-521-20-42-00	LE-Communication	Internet services - N Lakeshore Dr	\$95.68		
	42275							Check Total	\$160.68
		4/6/2017	1012996 0317	101-016-542-64-47-00	ST-Traffic Control -Utility	Traffic signal control	\$160.68		
	Crandall Arambula PC	42276							Check Total
4/6/2017			11	001-007-558-70-41-00	PL-Economic Devel	Subarea Plan & EIS/Downtown Plan	\$7,247.38		



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total		
Dataquest LLC	42277							Check Total	\$205.50
		4/6/2017	1519	001-005-518-10-41-00	HR-Professional Services	Background checks - New hires		\$45.50	
			1718	001-005-518-10-41-00	HR-Professional Services	Background checks - New hires		\$160.00	
Kim Daughtry	42278							Check Total	\$306.37
		4/6/2017	032917	001-001-511-60-43-00	Legislative - Travel & Mtgs	Reimburse for Uber charges-NLC Washington DC-Daughtry		\$306.37	
Day Wireless Systems	42279							Check Total	\$1,071.38
		4/6/2017	427483	520-008-594-21-63-00	Capital Equipment	Travel Charger brackets for PT67, 68, 69		\$324.33	
			432611	001-008-521-20-41-01	LE-Proessional Serv-Fixed	Speedgun calibration		\$747.05	
Dept of Retirement	42280							Check Total	\$35.76
		4/6/2017	1215552	001-004-514-23-49-00	FI-Miscellaneous	OASI 2016 Tax year		\$35.76	
Dept of Retirement (Deferred Comp)	0							Check Total	\$2,320.00
		4/4/2017	033117	001-000-282-00-00-00	Payroll Liability Retirement	Employee Portion-State Deferre		\$2,320.00	
Dept of Retirement PERS LEOFF	0							Check Total	\$81,520.47
		4/4/2017	033117	001-000-282-00-00-00	Payroll Liability Retirement	PERS LEOFF Contributions		\$81,520.47	
Dicks Towing Inc	42281							Check Total	\$125.58
		4/6/2017	164596	001-008-521-20-41-00	LE-Professional Services	Evidence towing case # 2017-0005052		\$125.58	
Electronic Federal Tax Pmt System EFTPS	0							Check Total	\$66,408.27
		4/4/2017	033117	001-000-281-00-00-00	Payroll Liability Taxes	Federal Payroll Taxes		\$66,408.27	
Electronic Business Machines	42282							Check Total	\$756.02
		4/6/2017	AR65227	001-007-558-50-31-01	PL-Operating Costs	Copy machine repair & maintenance		\$189.01	
				001-007-559-30-31-01	PB-Operating Cost	Copy machine repair & maintenance		\$189.01	
				001-013-518-20-31-00	GG-Operating	Copy machine repair & maintenance		\$378.00	
Engineering Innovation	42283							Check Total	\$234.01
		4/6/2017	14108	001-008-521-20-42-00	LE-Communication	ParcelPaks for shipping		\$234.01	
Everett Stamp Works	42284							Check Total	\$29.29
		4/6/2017	21274	001-004-514-23-31-00	FI-Office Supplies	Approved stamp for cashier station		\$29.29	
Tyler Farmer	42285							Check Total	\$156.00
		4/6/2017	032817	001-007-559-30-43-00	PB-Travel & Mtgs	Meals for Training in SeaTac-Farmer		\$156.00	
Feldman and Lee	42286							Check Total	\$10,000.00
		4/6/2017	Mar2017	001-011-515-91-41-00	LG-General Indigent Defense	Public defender services - March 2017		\$10,000.00	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total	
							Check Total	\$1,675.00
Financial Consulting Solutions Group	42287	4/6/2017	2563-21703009	001-004-514-23-41-00	FI-Professional Service	Strategic Fiancial Plan Consulting		\$1,675.00
Margaret Fondse	42288	4/6/2017	032117	001-008-521-20-31-04	LE - Donation Exp - Other	Add velcro to Explorer patches		\$87.28
Frontier	42289	4/6/2017	4253340835 0317	001-013-518-20-42-00	GG-Communication	Telephone services		\$28.29
				101-016-543-30-42-00	ST-Communications	Telephone services		\$28.29
				410-016-531-10-42-00	SW-Communications	Telephone services		\$28.29
Gall LLC	42290	4/6/2017	007109480	001-008-521-20-31-02	LE-Minor Equipment	Kevlar gloves		\$41.09
			007177783	001-008-521-20-31-02	LE-Minor Equipment	LAPD Wool mens shirts		\$179.63
			007177808	001-008-521-20-31-01	LE-Fixed Minor Equipment	Nik Test - Methamphetamine		\$66.28
Glass By Lund Inc	42291	4/6/2017	57342	001-008-521-20-31-02	LE-Minor Equipment	Tempered Laminate with 4 inch hole		\$326.70
Grainger	42292	4/6/2017	9388737661	001-010-576-80-31-00	PK-Operating Costs	Yellow barricade tape		\$31.20
				101-016-544-90-31-02	ST-Operating Cost	Yellow barricade tape		\$31.20
				410-016-531-10-31-02	SW-Operating Costs	Yellow barricade tape		\$31.20
			9389864431	410-016-531-10-31-01	SW-Office Supplies	Expanding file		\$25.31
			9389864449	410-016-531-10-31-01	SW-Office Supplies	File holder		\$11.13
Granite Construction Supply	42293	4/6/2017	262_00066926	001-010-576-80-31-00	PK-Operating Costs	Decals for vehicle numbers		\$24.69
				101-016-544-90-31-02	ST-Operating Cost	Decals for vehicle numbers		\$24.68
				410-016-531-10-31-02	SW-Operating Costs	Decals for vehicle numbers		\$24.68
			262_00066945	001-010-576-80-31-01	PK-Ops-Clothing	Jacket		\$20.57
				101-016-542-90-31-01	ST-Clothing	Jacket		\$20.56
				410-016-531-10-31-00	SW-Clothing	Jacket		\$20.56
			262_00066953	001-010-576-80-31-01	PK-Ops-Clothing	Rain jacket/Rain bibs		\$19.57
				101-016-542-90-31-01	ST-Clothing	Rain jacket/Rain bibs		\$19.57
				410-016-531-10-31-00	SW-Clothing	Rain jacket/Rain bibs		\$19.56
			262_00066961	001-010-576-80-31-00	PK-Operating Costs	Decals		\$11.62



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc		
Granite Construction Supply	42293	4/6/2017	262_00066961	101-016-544-90-31-02	ST-Operating Cost	Decals	\$11.62	
				410-016-531-10-31-02	SW-Operating Costs	Decals	\$11.61	
ISOsource	42294						Check Total	\$47.50
		4/6/2017	CW201274	001-006-518-80-41-00	IT-Professional Services	IT Consulting	\$47.50	
J Thayer Company Inc	42295						Check Total	\$334.26
		4/6/2017	1124891-0	001-007-558-50-31-00	PL-Office Supplies	Folders	\$33.16	
				001-007-559-30-31-00	PB-Office Supplies	Folders	\$33.16	
				001-008-521-20-31-00	LE-Office Supplies	Notebook/paper/clip/keyboard/pens	\$267.94	
Johns Cleaning Service	42296						Check Total	\$139.23
		4/6/2017	022817	001-008-521-20-41-00	LE-Professional Services	Uniform cleaning - February 2017	\$139.23	
Lake Industries LLC	42297						Check Total	\$718.35
		4/6/2017	272072	101-016-544-90-31-02	ST-Operating Cost	1 1/4 Minus Crushed Rock	\$134.72	
				410-016-531-10-31-02	SW-Operating Costs	1 1/4 Minus Crushed Rock	\$134.73	
			272082	101-016-544-90-31-02	ST-Operating Cost	1 1/4 Minus Crushed Rock	\$96.95	
				410-016-531-10-31-02	SW-Operating Costs	1 1/4 Minus Crushed Rock	\$96.95	
			32846	001-013-594-18-60-02	GG - City Hall Demo	Concrete dump fees	\$120.00	
			32850	302-010-576-80-61-00	Park Mitigation Funds Exp	Fill for Community Garden	\$45.00	
			32855	301-010-576-80-61-00	Park Mitigation Funds Exp	Fill for Community Garden	\$90.00	
Lake Stevens Chamber of Commerce	42298						Check Total	\$1,500.00
		4/6/2017	Apr2017	001-013-518-90-49-01	GG-Chamber of Commerce	April 2017 Contribution for VIC operations	\$1,500.00	
Lake Stevens Fire	42299						Check Total	\$20,223.00
		4/6/2017	Q2 2016	633-000-589-30-00-02	Fire District Fee Remit	Q2 2016 Fire Fees	\$10,935.00	
			Q3 2016	633-000-589-30-00-02	Fire District Fee Remit	Q3 2016 Fire Fees	\$6,865.00	
			Q4 2016	633-000-589-30-00-02	Fire District Fee Remit	Q4 2016 Fire Fees	\$2,423.00	
Lake Stevens Police Guild	42257						Check Total	\$1,028.00
		4/4/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Employee Paid Union Dues	\$1,028.00	
Lake Stevens School District	42300						Check Total	\$135.00
		4/6/2017	2517	001-001-511-60-45-01	Legislative - Rentals	City Council chamber rental February & March 2017	\$135.00	
	42301						Check Total	\$3,520.28
		4/6/2017	0016170082	001-008-521-20-32-00	LE-Fuel	Fuel	\$3,520.28	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total	\$
Lake Stevens Sewer District	42251	3/28/2017	032017	001-008-521-50-47-00	LE-Facility Utilities	Utilities - Sewer	\$36.38	
				001-010-576-80-47-00	PK-Utilities	Utilities - Sewer	\$36.38	
				001-012-572-20-47-00	CS-Library-Utilities	Utilities - Sewer	\$18.19	
				001-013-518-20-47-00	GG-Utilities	Utilities - Sewer	\$109.14	
				101-016-543-50-47-00	ST-Utilities	Utilities - Sewer	\$18.19	
Language Line Svc Inc	42302	4/6/2017	9020577616	001-008-521-20-41-00	LE-Professional Services	Over the phone interpretation services	\$14.94	
Lasting Impressions Inc	42303	4/6/2017	34411	001-008-521-20-31-04	LE - Donation Exp - Other	Back vinyl transfer on jackets	\$91.64	
LN Curtis & Sons	42304	4/6/2017	INV84316	001-008-521-20-31-02	LE-Minor Equipment	Oregon City Carrier & Accessories-C Brooks	\$304.65	
				001-008-521-20-31-02	LE-Minor Equipment	Oregon City Carrier & Accessories-Warbis	\$326.37	
Lowe's Companies	42305	4/6/2017	911876	001-013-594-18-60-02	GG - City Hall Demo	Double sided tape for blinds	\$31.03	
				001-010-576-80-31-00	PK-Operating Costs	Materials for Tot Lot repairs	\$808.19	
				001-010-576-80-31-00	PK-Operating Costs	Materials for Playground maint	\$153.12	
				101-016-544-90-31-02	ST-Operating Cost	2 outlet USB surge protectors	\$20.68	
				410-016-531-10-31-02	SW-Operating Costs	2 outlet USB surge protectors	\$20.68	
							Check Total	\$1,033.70
Kimberly McAvoy	42306	4/6/2017	6Z1041299	001-011-515-91-41-00	LG-General Indigent Defense	Public defender services	\$300.00	
				001-011-515-91-41-00	LG-General Indigent Defense	Public defender services	\$300.00	
Raymond & Junie Moore	42307	4/6/2017	LUA2017-0001	001-000-345-81-00-00	Zoning and Subdivision Fees	Refund for withdrawn application LUA2017-0001	\$1,550.00	
Nationwide Retirement Solution	0	4/4/2017	033117	001-000-282-00-00-00	Payroll Liability Retirement	Employee Portion-Nationwide	\$1,975.00	
Neofunds by Neopost	42308	4/6/2017	032117	001-008-521-20-42-00	LE-Communication	Postage	\$862.40	
O Reilly Auto Parts	42309	4/6/2017	2960-319630	001-008-521-20-31-02	LE-Minor Equipment	Wiper blades	\$14.91	
				101-016-544-90-31-02	ST-Operating Cost	Battery Cables PW40	\$32.66	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc		
O Reilly Auto Parts	42309	4/6/2017	2960-327661	410-016-531-10-31-02	SW-Operating Costs	Battery Cables PW40	\$32.66	
			2960-328760	101-016-544-90-31-02	ST-Operating Cost	Battery Nuts/molding tape PW40	\$7.24	
				410-016-531-10-31-02	SW-Operating Costs	Battery Nuts/molding tape PW40	\$7.23	
			2960-330696	001-008-521-20-31-02	LE-Minor Equipment	Fuse for PT62	\$9.25	
Office of The State Treasurer	42252	Check Total						\$14,142.80
		3/28/2017	Feb2017	633-000-589-30-00-03	State Building Permit Remit	February 2017 State Court Fees	\$256.50	
				633-000-589-30-00-07	Public Safety And Ed. 1986	February 2017 State Court Fees	\$6,378.08	
				633-000-589-30-00-08	Public Safety And Education	February 2017 State Court Fees	\$3,816.89	
				633-000-589-30-00-09	Judicial Information System-Ci	February 2017 State Court Fees	\$1,648.00	
				633-000-589-30-00-12	Trauma Care	February 2017 State Court Fees	\$517.70	
				633-000-589-30-00-13	School Zone Safety	February 2017 State Court Fees	\$27.26	
				633-000-589-30-00-14	Public Safety Ed #3	February 2017 State Court Fees	\$217.66	
				633-000-589-30-00-15	Auto Theft Prevention	February 2017 State Court Fees	\$742.39	
				633-000-589-30-00-16	HWY Safety Act	February 2017 State Court Fees	\$101.40	
				633-000-589-30-00-17	Death Inv Acct	February 2017 State Court Fees	\$65.54	
				633-000-589-30-00-18	WSP Highway Acct	February 2017 State Court Fees	\$371.38	
Outcomes by Levy LLC	42310	Check Total						\$5,566.67
		4/6/2017	2017-03-LS	001-013-511-70-40-00	Lobbying Services	Legislative/Regulatory consulting - March 2017	\$5,566.67	
Pacific Power Batteries	42311	Check Total						\$417.31
		4/6/2017	12238995	101-016-544-90-31-02	ST-Operating Cost	Batteries for PW40	\$208.66	
				410-016-531-10-31-02	SW-Operating Costs	Batteries for PW40	\$208.65	
Perteet Engineering Inc	42312	Check Total						\$26,070.48
		4/6/2017	20150253.002-3	001-013-594-18-60-02	GG - City Hall Demo	Lake Stevens City Campus Phase 1	\$26,070.48	
Petty Cash Account	42313	Check Total						\$60.00
		4/6/2017	040317	001-004-514-23-43-00	FI-Travel & Meetings	SCCFOA meetings	\$60.00	
Platt Electric Supply	42314	Check Total						\$532.74
		4/6/2017	L602930	001-012-557-30-31-00	CS-Visitor Center	Parts for inspection corrections of VIC sign	\$458.02	
			L610355	101-016-544-90-31-02	ST-Operating Cost	Wall switch lockout	\$8.87	
				410-016-531-10-31-02	SW-Operating Costs	Wall switch lockout	\$8.87	
L657296	001-012-557-30-31-00	CS-Visitor Center	Parts for inspection corrections of VIC sign	\$56.98				



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total		
Purchase Power	42315							Check Total	\$287.60
		4/6/2017	032417	001-007-558-50-42-00	PL-Communication	Postage		\$126.41	
				001-013-518-20-42-00	GG-Communication	Postage		\$161.19	
R&R Star Towing Inc	42316							Check Total	\$887.54
		4/6/2017	121464	001-008-521-20-41-00	LE-Professional Services	Towing & storage Case 2017-5339		\$887.54	
SirennetCom	42317							Check Total	\$248.65
		4/6/2017	0213260-IN	520-008-594-21-63-00	Capital Equipment	New vehicle lights		\$248.65	
Snohomish County PUD	42258							Check Total	\$9,708.62
		4/4/2017	Meter 155669	001-013-594-18-60-02	GG - City Hall Demo	Meter number 155669		\$4,854.31	
		Meter 402794	001-013-594-18-60-02	GG - City Hall Demo	Meter number 402794		\$4,854.31		
	42259							Check Total	\$468.00
	4/4/2017	100012379	001-013-518-20-48-00	GG-Repair & Maintenance	Service Disconnect & Inspection & Connection		\$468.00		
Snohomish County Sherrifs Office	42318							Check Total	\$3.98
		4/6/2017	2017-3654	001-008-523-60-51-00	LE-Jail	Prisoner Medical Feb 2017		\$3.98	
Snohomish County Treasurer	42253							Check Total	\$237.34
		3/28/2017	Feb2017	633-000-589-30-00-06	Crime Victims Compensation	Feb 2017 Crime Victims Compensation		\$237.34	
SoftwareONE Inc	42319							Check Total	\$1,609.98
		4/6/2017	US-PSI-573819	510-006-518-80-49-00	License Renewal - Annual Maint	Office 365 software licenses		\$1,609.98	
Sonsray Machinery LLC	42320							Check Total	\$1,479.67
		4/6/2017	P06216-09	001-010-576-80-31-00	PK-Operating Costs	Parts for PW35 Chipper		\$493.23	
				101-016-544-90-31-02	ST-Operating Cost	Parts for PW35 Chipper		\$493.22	
				410-016-531-10-31-02	SW-Operating Costs	Parts for PW35 Chipper		\$493.22	
Sound Publishing Inc	42321							Check Total	\$1,265.64
		4/6/2017	EDH745796	001-007-558-50-41-03	PL-Advertising	LUA2017-0017/0018 NPH 2017 Docket Authorization		\$165.12	
			EDH746261	001-007-558-50-41-03	PL-Advertising	LUA2016-0174 Lyons Gate I Prelim Plat		\$87.84	
			EDH746264	001-007-558-50-41-03	PL-Advertising	LUA2016-0191 Lyons Gate II Rezone		\$89.56	
			EDH746963	001-007-558-50-41-03	PL-Advertising	LUA2017-0011 Shadowhawk Prelim Plat		\$96.44	
			EDH747022	001-007-558-50-41-03	PL-Advertising	LUA2017-0019/20 Wagner Hill Prelim Plat		\$93.00	
			EDH747827	001-007-558-50-41-03	PL-Advertising	LUA2016-0201 Soper Hill ROW		\$175.68	
			EDH748413	001-007-558-50-41-03	PL-Advertising	LUA2016-0034 Temporary City Hall		\$108.48	
			EDH748415	001-007-558-50-41-03	PL-Advertising	LUA2017-0034 Temp City hall MDNS		\$184.16	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc		
Sound Publishing Inc	42321	4/6/2017	EDH748660	001-007-558-50-41-03	PL-Advertising	Public Hearing Rec Park Trlrs & RV Regs	\$41.40	
			EDH749283	001-013-518-30-41-01	GG-Advertising	Workshop meeting 3/28/17	\$51.72	
			EDH749304	001-007-558-50-41-03	PL-Advertising	2017 Buoy Line meeting	\$48.28	
			EDH749504	001-007-558-50-41-03	PL-Advertising	LUA2017-0042/0043 City Notices	\$123.96	
Springbrook Nursery	42322						Check Total	\$800.00
		4/6/2017	17-033108	001-013-594-18-60-02	GG - City Hall Demo	Haul away stumps from clearing Temp City Hall site	\$800.00	
Standard Fusee Corporation	42323						Check Total	\$896.60
		4/6/2017	00265285	001-008-521-20-31-02	LE-Minor Equipment	Spikeless Flares	\$896.60	
Standard Insurance Company	0						Check Total	\$6,137.46
		4/6/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Life/Disability Ins Premiums	\$148.00	
				001-002-513-11-20-00	AD-Benefits	Life/Disability Ins Premiums	\$65.37	
				001-003-514-20-20-00	CC-Benefits	Life/Disability Ins Premiums	\$105.79	
				001-004-514-23-20-00	FI-Benefits	Life/Disability Ins Premiums	\$184.14	
				001-005-518-10-20-00	HR-Benefits	Life/Disability Ins Premiums	\$70.67	
				001-006-518-80-20-00	IT-Benefits	Life/Disability Ins Premiums	\$141.89	
				001-007-558-50-20-00	PL-Benefits	Life/Disability Ins Premiums	\$562.10	
				001-007-559-30-20-00	PB-Benefits	Life/Disability Ins Premiums	\$330.75	
				001-008-521-20-20-00	LE-Benefits	Life/Disability Ins Premiums	\$2,848.53	
				001-010-576-80-20-00	PK-Benefits	Life/Disability Ins Premiums	\$221.92	
				001-013-518-30-20-00	GG-Benefits	Life/Disability Ins Premiums	\$83.65	
				101-016-542-30-20-00	ST-Benefits	Life/Disability Ins Premiums	\$701.01	
				401-070-535-10-20-00	SE-Benefits	Life/Disability Ins Premiums	\$12.94	
			410-016-531-10-20-00	SW-Benefits	Life/Disability Ins Premiums	\$660.70		
Stoney Creek Outfitters	42324						Check Total	\$242.42
		4/6/2017	83571	001-008-521-20-31-02	LE-Minor Equipment	Carhartt pants	\$242.42	
Mary Swenson	42325						Check Total	\$8,806.32
		4/6/2017	033117	001-013-518-20-41-00	GG-Professional Service	Professional services March 2017 - Swenson	\$4,228.00	
			Jan/Feb2017	001-013-518-20-41-00	GG-Professional Service	Professional services Jan/Feb 2017-Swenson	\$4,578.32	
Symbol Arts	42326						Check Total	\$345.00
		4/6/2017	0278824-IN	001-008-521-20-31-02	LE-Minor Equipment	Badges	\$345.00	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total		
Tacoma Screw Products Inc	42327							Check Total	\$173.90
		4/6/2017	18152592	001-010-576-80-31-00	PK-Operating Costs	Upside Down Marking Paint		\$57.96	
				101-016-544-90-31-02	ST-Operating Cost	Upside Down Marking Paint		\$57.97	
				410-016-531-10-31-02	SW-Operating Costs	Upside Down Marking Paint		\$57.97	
Taser International	42328							Check Total	\$694.34
		4/6/2017	SI1474307	001-008-521-20-31-01	LE-Fixed Minor Equipment	Taser cartridge		\$694.34	
Teamsters Local No 763	42260							Check Total	\$996.00
		4/4/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Union Dues		\$996.00	
Terra Services Inc	42329							Check Total	\$1,629.33
		4/6/2017	17-02580	001-007-558-50-41-00	PL-Professional Servic	Temporary services - Planning Admin		\$814.67	
				001-007-559-30-41-00	PB-Professional Srv	Temporary services - Planning Admin		\$814.66	
The Sharp Shop	42330							Check Total	\$43.44
		4/6/2017	652328	001-010-576-80-31-00	PK-Operating Costs	Sharpen chipper blades		\$14.48	
				101-016-544-90-31-02	ST-Operating Cost	Sharpen chipper blades		\$14.48	
				410-016-531-10-31-02	SW-Operating Costs	Sharpen chipper blades		\$14.48	
The Veteran Journal	42331							Check Total	\$295.00
		4/6/2017	V-456071	001-008-521-20-41-03	LE-Advertising	Help Wanted - Employment Opportunities		\$98.34	
				101-016-542-30-41-01	ST-Advertising	Help Wanted - Employment Opportunities		\$98.33	
				410-016-531-10-41-05	SW-Advertising	Help Wanted - Employment Opportunities		\$98.33	
Tribune	42332							Check Total	\$261.33
		4/6/2017	782721.03	101-016-542-30-41-01	ST-Advertising	Help Wanted - Engineer		\$37.33	
				410-016-531-10-41-05	SW-Advertising	Help Wanted - Engineer		\$37.34	
			783014.03	001-007-558-50-41-03	PL-Advertising	Help Wanted - Building		\$46.66	
				001-007-559-30-41-01	PB-Advertising	Help Wanted - Building		\$46.67	
			783523.03	001-007-558-50-41-03	PL-Advertising	Help wanted - Building Official		\$46.67	
				001-007-559-30-41-01	PB-Advertising	Help wanted - Building Official		\$46.66	
ULINE	42333							Check Total	\$1,366.59
		4/6/2017	85214680	111-008-521-20-31-00	Drug Seize - Op Supplies	Tool set/4 drawer cart/table		\$1,366.59	
United Way of Snohomish Co	42261							Check Total	\$171.68
		4/4/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Employee Contributions		\$171.68	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total	
UPS	42334						Check Total	\$50.41
		4/6/2017	74Y42127	001-008-521-20-42-00	LE-Communication	Evidence shipping	\$50.41	
Vantagepoint Transfer Agents - 307428	42262						Check Total	\$694.71
		4/4/2017	102339776	001-000-282-00-00-00	Payroll Liability Retirement	Deferred Comp - ICMA	\$694.71	
Verizon Northwest	42335						Check Total	\$3,357.32
		4/6/2017	9782690919	001-001-511-60-42-00	Legislative - Communication	Wireless phone services	(\$437.64)	
				001-001-513-10-42-00	Executive - Communication	Wireless phone services	\$35.46	
				001-002-513-11-42-00	AD-Communications	Wireless phone services	\$35.46	
				001-003-514-20-42-00	CC-Communications	Wireless phone services	\$55.34	
				001-005-518-10-42-00	HR-Communications	Wireless phone services	\$52.50	
				001-006-518-80-42-00	IT-Communications	Wireless phone services	\$140.46	
				001-007-558-50-42-00	PL-Communication	Wireless phone services	\$106.38	
				001-007-559-30-42-00	PB-Communication	Wireless phone services	\$140.41	
				001-008-521-20-42-00	LE-Communication	Wireless phone services	\$1,556.16	
				001-010-576-80-42-00	PK-Communication	Wireless phone services	\$557.60	
				101-016-543-30-42-00	ST-Communications	Wireless phone services	\$557.60	
				410-016-531-10-42-00	SW-Communications	Wireless phone services	\$557.59	
WABO	42336						Check Total	\$83.77
		4/6/2017	33998	001-007-558-50-41-03	PL-Advertising	Help Wanted - Building Official	\$50.00	
			34022	001-007-559-30-31-00	PB-Office Supplies	Publication:ICC 300-2012: Bleachers, Folding & Telescopic Seatin	\$33.77	
WAPRO	42337						Check Total	\$400.00
		4/6/2017	2585	001-008-521-40-49-01	LE-Registration Fees	2017 WAPRO Spring Training Registration-Anderson	\$200.00	
			2589	001-008-521-40-49-01	LE-Registration Fees	2017 WAPRO Spring Training Registration-LeBlanc	\$200.00	
Washington State Dept of Enterprise Svcs	42338						Check Total	\$56.15
		4/6/2017	73160209	001-008-521-20-31-00	LE-Office Supplies	Envelopes	\$56.15	
Washington State Support Registry	0						Check Total	\$402.46
		4/4/2017	033117	001-000-284-00-00-00	Payroll Liability Other	Employee Paid Child Support	\$402.46	
Washington Teamsters Welfare Trust EFT	0						Check Total	\$2,181.00
		4/6/2017	033117	001-000-283-00-00-00	Payroll Liability Medical	Teamsters Dental Ins Premiums	\$2,181.00	
Washington Tractor	42339						Check Total	\$371.29
		4/6/2017	1218074	001-010-576-80-31-00	PK-Operating Costs	Filters/Oil PW25	\$17.63	



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Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc		
Washington Tractor	42339	4/6/2017	1218074	101-016-544-90-31-02	ST-Operating Cost	Filters/Oil PW25	\$17.63	
				410-016-531-10-31-02	SW-Operating Costs	Filters/Oil PW25	\$17.64	
			1218077	001-010-576-80-31-00	PK-Operating Costs	Filters/Transmission fluid PW38	\$19.95	
				101-016-544-90-31-02	ST-Operating Cost	Filters/Transmission fluid PW38	\$19.94	
				410-016-531-10-31-02	SW-Operating Costs	Filters/Transmission fluid PW38	\$19.94	
			1222989	001-010-576-80-31-00	PK-Operating Costs	Chute/V-belt/Mower blade PW25	\$86.18	
				101-016-544-90-31-02	ST-Operating Cost	Chute/V-belt/Mower blade PW25	\$86.19	
				410-016-531-10-31-02	SW-Operating Costs	Chute/V-belt/Mower blade PW25	\$86.19	
Wave Broadband	42340	Check Total						\$731.89
		4/6/2017	01951487	001-002-513-11-42-00	AD-Communications	Telephone Service	\$10.76	
				001-003-514-20-42-00	CC-Communications	Telephone Service	\$21.52	
				001-004-514-23-42-00	FI-Communications	Telephone Service	\$21.51	
				001-005-518-10-42-00	HR-Communications	Telephone Service	\$10.76	
				001-006-518-80-42-00	IT-Communications	Telephone Service	\$32.28	
				001-007-558-50-42-00	PL-Communication	Telephone Service	\$69.97	
				001-007-559-30-42-00	PB-Communication	Telephone Service	\$10.76	
				001-008-521-20-42-00	LE-Communication	Telephone Service	\$365.95	
				001-012-575-30-42-00	CS-Historical-Communications	Telephone Service Museum	\$10.76	
				001-012-575-50-42-00	CS-Community Center - Comm	Telephone Service Senior Ctr	\$10.76	
				001-013-518-20-42-00	GG-Communication	Telephone Service	\$43.03	
				101-016-543-30-42-00	ST-Communications	Telephone Service Shop	\$61.91	
				410-016-531-10-42-00	SW-Communications	Telephone Service Shop	\$61.92	
42341	Check Total						\$650.94	
	4/6/2017	01955289	510-006-518-80-49-00	License Renewal - Annual Maint	Fiber lease for New World Connection	\$650.94		
Weed Graafstra & Associates Inc	42342	Check Total						\$15,327.25
		4/6/2017	162	001-011-515-30-41-00	LG-Professional Service	Legal services - General Matters	\$15,327.25	
West Marine Pro	42343	Check Total						\$179.46
		4/6/2017	004806	001-008-521-21-31-00	LE-Boating Minor Equipment	Garmin Transducer for boat	\$179.46	
Western Conference of Teamsters Pension Trust	42263	Check Total						\$2,810.18
		4/4/2017	033117	001-000-282-00-00-00	Payroll Liability Retirement	Employee Contributions - Teamster Pension	\$2,810.18	



Checks to be Approved for 3/24/2017 to 4/6/2017

Name	Ck #	Date	Invoice #	Account #	Account Desc	Item Desc	Check Total		
David Williamson	42344							Check Total	\$125.99
		4/6/2017	033117	001-007-559-30-49-01	PB-Staff Development	WABO seminar - Williamson		\$125.99	
WMCA	42345							Check Total	\$75.00
		4/6/2017	2017	001-003-514-20-49-00	CC-Miscellaneous	WMCA Membership dues 2017 - Pugh		\$75.00	
Zachor and Thomas Inc PS	42346							Check Total	\$10,992.13
		4/6/2017	702	001-011-515-30-41-01	PG-Prosecutor Fees	Prosecutors retainage - March 2017		\$10,992.13	
ZOHO Corporation	42347							Check Total	\$2,085.00
		4/6/2017	2156499	510-006-518-80-49-00	License Renewal - Annual Maint	ManageEngine Log360 Annual licenses		\$2,085.00	
Total								\$473,434.80	



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CITY OF LAKE STEVENS
CITY COUNCIL SPECIAL MEETING MINUTES
Saturday, March 11 through Wednesday, March 15, 2017
Washington, D.C.

ELECTED OFFICIALS PRESENT: Mayor John Spencer, and Councilmembers Kim Daughtry, Gary Petershagen, Kurt Hilt, Todd Welch, Rauchel McDaniel and Marcus Tageant

ELECTED OFFICIALS ABSENT: Councilmember Kathy Holder

STAFF MEMBERS PRESENT: City Administrator Gene Brazel

OTHERS PRESENT: Mary Swenson, Consultant

On March 11 and 12, 2017 Mayor Spencer and Councilmembers, together with the City Administrator and Consultant travelled to Washington, D.C. for the purpose of attending the National League of Cities Conference.

While in Washington, D.C. the Lake Stevens representatives met with elected officials including Senators Patty Murray and Maria Cantwell, and Representative Suzan DelBene, for the purpose of discussing various matters related to the City of Lake Stevens, and particularly related to transportation issues, including the U.S. 2 Trestle/SR 9/SR 204 interchange and options for improvement. Additionally the delegation met with representatives of the City's lobbyist, Strategies 360.

The Lake Stevens delegation returned from Washington, D.C. on March 15, 2017.

John Spencer, Mayor

Kathy Pugh, Deputy City Clerk



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**CITY OF LAKE STEVENS
CITY COUNCIL WORKSHOP MEETING MINUTES**

Tuesday, March 28, 2017
Lake Stevens School District Educational Service Center (Admin. Bldg.)
12309 22nd Street N.E. Lake Stevens

CALL TO ORDER: 6:04 p.m. by Mayor John Spencer

ELECTED OFFICIALS PRESENT: Councilmembers Kim Daughtry, Gary Petershagen, Todd Welch, Rauchel McDaniel, Marcus Tageant

ELECTED OFFICIALS ABSENT: Kurt Hilt, Kathy Holder

STAFF MEMBERS PRESENT: City Administrator Gene Brazel, Finance Director/City Clerk Barb Stevens, Public Works Director Eric Durpos, Police Chief John Dyer, Human Resources Director Steve Edin, Deputy City Clerk Kathy Pugh and City Attorney Grant Weed (6:11 p.m.)

OTHERS: Kurt Mills, Director, SnoPac; Terry Peterson, Director, SnoCom

Mayor Spencer called the meeting to order at 6:04 p.m. He then introduced Kurt Mills, Director of SnoPac; Mr. Mills introduced Terry Peterson, Director of SnoCom.

Mr. Mills provided a background for both SnoCom and SnoPac, both of which were formed in the 1970's; they are consolidated 911 centers and provide dispatch services for both police and fire agencies in the County. He identified a third player SERS, the Snohomish County Emergency Radio group. Mr. Mills reviewed a map showing areas that are served by SnoCom and SnoPac, and also an area that is jointly served. He said there is a service delivery issue that results in a high number of 911 call transfers that is driving the effort to consolidate services. Mr. Mills reviewed the process for identifying the need for a joint task force to resolve the issue calls being transferred between the two agencies.

Mr. Peterson commented on the work that is vetted by the joint task force to address these service delivery concerns. He said there is also consideration that SERS should be included in the consolidation, so SERS is serving in an ex officio capacity as this process moves forward. The process has been open and transparent throughout, including meeting with affected stakeholders, and making all approved documents available to the public on both the SnoCom and SnoPac websites.

Mr. Peterson said that a consultant was hired to assist the joint task force in developing a mission statement, purpose, scope, and membership. Mr. Peterson then reviewed the identified service level concerns and how they are being addressed. After reviewing several options the task force is focusing on the consolidation option.

Mr. Mills commented the task force is also focused on taking no steps backward in redundancy and resiliency. He identified that both SnoPac and SnoCom use the same computer-aided dispatch system, the same radios, and they already back each other up. The SnoPac facility is

larger than SnoCom and this creates some challenges on how to relocate. The current plan is to keep one of the facilities as a warm backup so that if there is a problem, it is available for use.

Mr. Peterson said the task force was asked to put together a 10-year pro-forma budget; he then reviewed the models and said that the consolidated option results in an annual cost reduction of \$1 million with equal or improved staffing and service levels. Mr. Peterson said there are potentially 50 agencies that would join a consolidated organization, and that the consolidated organization needs to be a participatory governance style, and they currently envision 15 members, with membership allocations of approximately 66% to police and 33% to fire. They are also working to make sure there is representation for large, medium and small cities. The joint task force also is seeing to have a balance of members between elected and operational members such as police or fire chiefs. They are also looking at establishing technical advisory committees that can make recommendations to the board.

Mr. Mills said the idea of merging services into a consolidated service is not unique to Snohomish County, and that other areas in the Puget Sound region are also looking into it. He further commented it is a multi-year process. Consolidation would result in one 911 center in the County and eliminate the transfer issue completely, while achieving significant economies. The end result would be the same level of service with the elimination of redundancies and duplications of effort. He commented that much of the savings would occur with employee attrition over a period of time.

Mr. Mills next reviewed the estimated one-time transition costs, which are estimated at approximately \$1.5 million.

Mr. Mills then turned to how cities, and Lake Stevens in particular, would be assessed for participation. Lake Stevens would realize an approximately 8.5 percent reduction in costs for the proposed consolidated services.

Mr. Peterson reviewed the next steps and approximate timeline in this process, including a detailed financial review, individual agency briefings, joint board review, and additional briefings to individual agencies. He estimated a new consolidated agency could begin work as soon as June 2018.

Chief Dyer commented that the Lake Stevens Police Department's partnership with SnoPac is critical and the police rely on their contact with 911 dispatchers, and secondly the contribution the city makes to the dispatch center is sizeable. Chief Dyer is very pleased with the services the dispatch center provides. Chief Dyer then commented that while the city is not directly affected, the issue of the transferred calls is a real problem that needs to be addressed. He added that he hopes that SERS becomes a part of the consolidation. Chief Dyer said that he is on the SnoPac Board of Directors, but that under the consolidated model Lake Stevens may not be represented on the Board of Directors. He reviewed how representation on the board will likely be determined. Chief Dyer said that he will continue to make sure that the city's voice is heard, whether he is on the board or participating at another level, such as on a technical advisory committee.

Responding to Councilmember Welch's question regarding whether cities contracting with the county for police services will have representation on the board, Mr. Mills said the current sentiment is that the agencies that are direct service providers are the ones who should have representation.

Responding to Mayor Spencer's question, Mr. Mills said that the budget does not include the capital expansion. He said that SnoPac's budget philosophy is to utilize yearend savings for capital improvements. There is recognition that since both SnoPac and SnoCom currently rent their facilities, that at some point they may need to purchase a facility.

Councilmember Daughtry asked if members would have to absorb the cost of the radio improvements in 2020 if SERS joins in the consolidation; Mr. Mills said that no decision has been made regarding whether they will be part of the consolidation. He has not heard that special assessments would be considered, but other options are being considered.

Discussion ensued, and Mr. Mills responded to additional questions, including the schedule for moving forward.

There being no further business the Workshop meeting was adjourned at 6:38 p.m.

John Spencer, Mayor

Kathy Pugh, Deputy City Clerk



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**CITY OF LAKE STEVENS
CITY COUNCIL REGULAR MEETING MINUTES**

Tuesday, March 28, 2017
Lake Stevens School District Educational Service Center (Admin. Bldg.)
12309 22nd Street N.E. Lake Stevens

CALL TO ORDER: 7:01 p.m. by Mayor John Spencer

ELECTED OFFICIALS PRESENT: Councilmembers Kim Daughtry, Gary Petershagen, Kurt Hilt, Todd Welch, Raichel McDaniel, Kathy Holder (7:26 p.m.), Marcus Tageant

ELECTED OFFICIALS ABSENT: None.

STAFF MEMBERS PRESENT: City Administrator Gene Brazel, Finance Director/City Clerk Barb Stevens, Community Development Director Russ Wright, Public Works Director Eric Durpos, Police Chief John Dyer, Human Resources Director Steve Edin, Deputy City Clerk Kathy Pugh and City Attorney Grant Weed

Pledge of Allegiance: Council President Kurt Hilt introduced Lindsay Lindbloom, a student at Mt. Pilchuck Elementary, who led the Pledge of Allegiance.

Roll Call: Council President Hilt advised Councilmember Holder would be arriving late to the meeting.

Approval of Agenda: Council President Hilt said there is a request to remove Consent Item G, Approve Ordinance 990 Amending LSMC 2.56 re Park and Recreation Planning Board, from the Consent Agenda and add it to Action Items.

MOTION: Motion by Councilmember Tageant, second by Councilmember McDaniel, to approve the Consent Agenda with the exception of Item G, which is removed to Action Items. On vote the motion carried (6-0-0-1).

Citizen Comments:

Laurie Erickson, 10208 – 7th Place SE, Lake Stevens, expressed concern about wetlands that are impacted by the Westlake Crossing I and II developments, and asked who in the City holds the developers accountable for complying with the wetlands regulations. Ms. Erickson provided a written copy of her comments.

Employee Recognition: Mayor Spencer recognized Justin Evans for ten years of service to the City of Lake Stevens working with transportation in the Public Works Department.

Council Business:

- Kim Daughtry: Snohomish County Committee for Improved Transportation

- Raichel McDaniel: Public Safety Subcommittee: new Police Station at Chapel Hill, possibility of Lake Stevens municipal court, and equipment that will needed for new police facility. Additionally, updated on Fire Commission and Historical Society meetings.
- Marcus Tageant: Administration Subcommittee: Council Rules of Procedure

Mayor's Business: The City Council traveled to Washington DC for the National League of Cities conference. While there, Council was able to speak with the City's representatives and both Senator Murray and Senator Cantwell about the need to upgrade the Trestle and improve the commute experience. This was brought up last year at the National League of Cities conference and received a nice reception. This year Senator Cantwell singled Lake Stevens out to further discuss this and committed her staff to pursue freight mobility funding to help fund improvements to the Trestle.

The following week City representatives were in Olympia and had an opportunity to participate in a workshop with both the Senate and House Transportation committees. The discussion centered on the need to upgrade the Trestle and a range of alternatives to fund the improvements. Following that Senator Murray's office contacted City officials and requested information so that she can work with Senator Cantwell to try to secure funding for a "3P" (Public/Public/Private) approach in an effort to move improvements forward expeditiously.

Also, there is now money in both the Senate and House budgets for a "jump start", which would be a widening and striping of 20th Street SE to create an HOV lane travelling westbound down Cavelero Hill, stay under the Trestle and then merge up to the Trestle about half way to two thirds of the way across the Trestle. The hope is that the surrounding geology would support bus traffic as well as vehicles and van pools.

City Department Report.

- Director Edin: Communications/Administrative Assistant Beth Braun will start April 3, 2017, Engineering Technician Mathew Goad submitted his resignation.
- Director Stevens: The 2017 budget document is now on the City's website.
- Director Durpos: The new Maintenance I person has started in Public Works, and Engineer position interviews were today.
- City Administrator Brazel: The IT Department distributed their Department Report prior to the meeting; they are still collecting information and proposals regarding the phone system; there is a buoy program meeting March 29th and there is some talk of using a citizen task force approach, but staff wants to be sure to get feedback from everyone.

Council President Hilt reminded that safety on the lake was a concern last year and came up again at the retreat. He believes there would be value in approaching safety on the lake strategically to better understand what the safety issues are and to have consensus or a collaborative process for approaching safety concerns. Council President Hilt recommended to Mayor Spencer that consideration be given to establishing a Safety Task Force which would run through the Public Safety Committee. His idea is that the task force would be composed of both Council and community members who are directly affected by activity related to the lake.

MOTION: Moved by Councilmember McDaniel, seconded by Councilmember Tageant, to create a Safety Task Force through the Public Safety Committee to review and analyze public safety on the lake. On vote the motion carried (7-0-0-0).

Consent Agenda:

MOTION: Moved by Councilmember Tageant, seconded by Councilmember Daughtry, to approve (A) 2016 Vouchers [Payroll Direct Deposits of \$345,764.51, Payroll Checks 42070-42071, 42157-42159 totaling \$12,147.51, Tax Deposits of \$142,834.65, Electronic Funds Transfers (ACH) in the amount of \$220,228.80, Claims Check Nos, 42068-42069, 42072-42156, 42160-42250 totaling \$487,373.96, Void Check No. 42081 in the amount of \$188.88, Total Vouchers Approved: \$1,208,160.55]; (B) City Council Regular Meeting Minutes of February 28, 2017; (C) Resolution 2017-05 Authorizing Establishment of International County/City Management Association Retirement Corporation 401(a) Money Purchase Plan; (D) Ordinance 989 Amending LSMC 2.51.050 re Salary Commission; (E) CDI Task Order #6 for Electrician Services; (F) All Phase Brush & Land Clearing Task Order #3 for Tree Removal Services; and (G) removed to Action Items. On vote the motion carried (7-0-0-0).

Public Hearings:

Mayor Spencer opened the Public Hearings regarding Ordinance 991, Adding LSMC Chapter 14.44.070 re Recreational Park Trailers and Recreational Vehicle Regulations and Ordinance No. 992 re Soper Hill Right of Way Vacation.

Recreational Park Trailers and Recreational Vehicles (RV) Regulations: Community Development Director Wright presented the Staff Report and said that tonight's requested action is to hold a public hearing and a First and Final Reading of Ordinance 991 related to Municipal Code amendments for Recreational Park Trailers and Recreational Vehicles (RV) Regulations. Director Wright said that the proposed new code section adds language to address code deficiencies identified by WCIA in a 2015 land use audit of the City's municipal code and reviewed some of the goals of the proposed changes as well as additional amendments within the chapter to provide consistency. Director Wright added the Planning Commission was briefed; they held a public hearing and received public comment on this matter. The Planning Commission forwarded a recommendation to the Council for approval of the proposed changes to the Municipal Code. Additionally staff found the recommended changes are compliant with the City's comprehensive plan. Director Wright then responded to Councilmembers' questions.

Mayor Spencer invited public comment and there was none.

Mayor Spencer closed the public comment portion of the Public Hearing and the Public Hearing.

MOTION: Moved by Councilmember Daughtry, seconded by Councilmember Welch, to approve Ordinance 991, adding a Lake Stevens Municipal Code Chapter 14.44.070 entitled "Recreational Park Trailers and Recreations Vehicles (RV) Regulations" and amending the Lake Stevens Municipal Code Chapters 14.08 entitled "Basic Definitions and Interpretations", 14.16C.110 entitled "Temporary Use" and 14.40.040 entitled Permissible and Prohibited Uses." On vote the motion carried (7-0-0-0).

Approve Ordinance 992 re Soper Hill Right-of-Way Vacation: Director Wright reviewed the historical planning background for Soper Hill. Council previously approved rezoning the property in question to commercial. He then presented the Staff Report said that tonight's requested action is to approve the proposed Right-of-Way vacation and accept an equal amount of Right-of-Way dedication, which will meet the City's requirement that the applicant complete road improvements at its cost, by adoption of Ordinance 992. Director Wright reviewed the

procedural history of the proposed right-of-way vacation and dedication, and said it is staff's recommendation to accept the proposed right-of-way dedication and vacation. He then responded to Councilmembers' questions.

Responding to Councilmember Tageant, Director Wright said that the Lake Stevens School District believes this secondary access is necessary and will lead to less impact on nearby residential neighbors; they are on board with the proposed right-of-way dedication and vacation.

Councilmember Petershagen clarified tonight's action is only to approve or disapprove of the vacation of the right-of-way and is not project approval.

Councilmember McDaniel confirmed that approving this vacation will allow the developer to move forward with the construction of the intersection. She said the open pond water retention systems are an eyesore over time and urged the City to require an underground vault retention system with perhaps a park constructed over it, particularly as this project is in a neighborhood area.

Director Wright responded that staff is reviewing the stormwater codes and that stormwater ponds are one of the allowed management tools under the state's guidance. Because of this he does not believe the City can restrict the open vaults, but in this particular instance there is an opportunity to ask the applicant if they will consider other stormwater solutions. This approach may become a cost-sharing effort with the city based on increased costs. If this is the case perhaps it can become a city gateway.

City Attorney Weed clarified the state statute provides the City can reserve easements but it does not allow the attachment of conditions that will be relevant to a future land use application. There will be opportunities as the project proceeds. The only issue before Council this evening is the vacation of right-of-way and acceptance of property.

Mayor Spencer said there will be opportunities to work with the developer to reach an outcome that is complimentary to both the City's and developer's goals.

Councilmember Holder asked if the roundabout will work in conjunction with the intersection with SR 9. Director Wright replied the City has been working with WSDOT on the location of the roundabout to avoid any conflict with SR 9; the roundabout is being pushed as far east as possible and there will be other traffic improvements as well, with additional development to the north.

Mayor Spencer invited public comment.

Gretchen Makulski, 2519 Soper Hill Drive, Lake Stevens, expressed concerns regarding increased traffic and the impact of road development on Soper Hill. She said she has been contacting both the City and County and has not been able to get answers to her questions regarding what the actual traffic impacts will be. She additionally has concerns regarding the size of the proposed development, and increased safety issues for foot traffic due to increased traffic.

Kari Zapata, 2409 87th Drive NE, lives in the Crosswater neighborhood which is adjacent to the southwest corner of Soper Hill Drive and SR 9. She noted the proposed roundabout will go right up to the corner of her property. She reminded that her homeowners board approached Council

approximately a year ago for a property vacation so they could attempt to gate their neighborhood to limit transient access, which is on the rise. So far the neighborhood has not received a response to this request, and now there is a lot of increased development, all of which will have a huge impact on her community including safety concerns in the adjacent park.

Amanda Havanek, 2505 88th Drive NE, concurred with Ms. Zapata's comments and said that she is very aware of the activities that are taking place in the park and has had to call the police numerous times. She is concerned the neighborhood is going to turn into something that the residents do not want.

Tom Slotomaker, 2625 Soper Hill Road, Lake Stevens, said they have heard many things about Soper Hill and they are concerned that Soper Hill will not have direct access to SR 9. Mayor Spencer said that is not correct. Mr. Slotomaker confirmed the roundabout will be on the east side of SR 9.

Annie. Slotomaker, 2625 Soper Hill Road, Lake Stevens, commented at one time there was a spring-fed pond on the developer's property, that the developer has now filled in. She asked if there will be a study completed on the springwater on the property before any commercial development goes forward. Mayor Spencer said that the City will conduct a hydrological analysis before the development goes in.

Erika Simpson, 2630 Lake Drive, Lake Stevens, urged the Council to think hard about having an AM/PM market located so close to the elementary school, the early learning center and possibly the middle school. She is concerned about gasoline in the area and children with access to the AM/PM.

Mayor Spencer closed the public comment portion of the public hearing and closed the public hearing.

MOTION: Moved by Councilmember Welch, seconded by Councilmember Petershagen, to approve Ordinance No. 992 providing for a right-of-way vacation of approximately 12,077 square feet of land, and a dedication of approximately 25,085 square feet of land between the Kjvorsik properties and adjacent City right-of-way located off Soper Hill Road and SR-9.

Councilmember McDaniel would like further discussions with the developer before going forward with the right-of-way vacation. She does not want to see an open retention pond. She believes the hearing should be continued to allow time to talk with the developer.

Councilmember Welch commented that approving the right-of-way vacation does not approve the retention pond plans.

Director Wright confirmed Councilmember Welch's understanding and said that if the City went forward with the dedication and not the vacation, there would not be compensation for the property exchange. Director Wright deferred to the City Attorney as to whether the dedication and vacation can be separated.

Attorney Weed said that to vacate right-of-way requires at least equal compensation of the value of the right-of-way being vacated. The City cannot do that part without compensation. He then reviewed the procedural alternatives and clarified that the right-of-way dedication and

vacation are separate from the development application. Council cannot deal with a yet-to-be applied for development application. Tonight's action is a real estate transaction.

Responding to Councilmember Tageant's question, Director Wright said the right-of-way does not touch the school property at this point, but the school district will need that access at some point in the future.

Councilmember Hilt suggested that the motion could be amended to direct staff to work with the developer and return to Council with proposals to address the concerns raised by Councilmember McDaniel regarding the stormwater facility.

Director Wright responded that staff could look at the stormwater concerns during the SEPA review and do an analysis of one version of a retention pond versus another. This will also go through the Design Review Board, and when this occurs staff can recommend that an area be included for a gateway.

Councilmember McDaniel clarified that she is concerned the right-of-way vacation will be approved and the developer will start construction and not make the allowances being described tonight because they cannot use the property across the street.

Mayor Spencer clarified that the amendment to the motion is that staff be directed to work with the developer and with the City beautification plans and return to the Council with a plan for a gateway design for this piece of property. With this amendment the Council will have a plan before them, prior to construction, that proposes how development will proceed, and include a gateway that does not include an open vault.

Attorney Weed clarified with Mayor Spencer that if this is an amendment to the motion, it also includes passing the ordinance vacating the right-of-way.

Discussion ensued and Director Wright suggested that a separate direction to staff would be more appropriate so as not to attach conditions to passage of the ordinance. There was general concurrence that direction to staff would be separate from a vote on the ordinance.

VOTE: On vote the motion to approve Ordinance 992 regarding the Soper Hill Right-of-Way vacation carried (6-1-0-0).

Mayor Spencer clarified that there is direction to staff return to Council with a plan associated with the future development that will include an enclosed pond and/or stormwater facility that will be part of a gateway to the City on Soper Hill.

Councilmember Holder commented she believes the City, Design Review Board and Planning Commission will need to work very closely on this project to ensure this development is in keeping with the surrounding neighborhood and its characteristics.

Councilmember McDaniel said her greatest concern is that this retention pond is actually located across the street and will not actually impact their business.

Action Items:

Approve Professional Services Agreement with Makers for Architectural Services:

Director Wright presented the Staff Report and said that Staff is requesting approval of a Professional Services Agreement with Makers to develop a master plan for the municipal campus that will be located at Chapel Hill. This will be done in conjunction with Sno-Isle Library's development of the adjacent property. Director Wright reviewed the scope of the project and the elements of Maker's proposal that stood out to the review panel. There are wetlands to the north of this site, and the City already knew of wetlands to the west of the site. Staff requests a budget increase to \$111,000 for the City's contribution to this project; the rest of the cost will be borne by Sno-Isle.

Responding to Councilmember Welch's question, Director Wright said that Sno-Isle believes they had a strong recommendation from the community to move forward with site planning, based on the voter percentage of approval in the special election, and it was more procedural that the ballot measure did not pass. Sno-Isle will go out to the voters again when they believe it is appropriate timing.

In response to Councilmember Petershagen's question, the City will be the lead on this professional services agreement and the Sno-Isle will pay its proportionate share in accordance with the terms of the Interlocal Agreement.

MOTION: Moved by Councilmember McDaniel, seconded by Councilmember Hilt, to authorize the Mayor to execute a Professional Service Agreement not to exceed \$111,000 with Makers to develop a master plan for the municipal campus at Chapel Hill. On vote the motion carried (7-0-0-0).

Adopt Resolution 2017-06 Adjusting Fees for City Licenses, Permits and Other Services:

Director Wright presented the Staff Report and noted that an amended Staff Report and Resolution were circulated to Council via email this morning. Director Wright reviewed Staff's suggested amendments to fees, and responded to Councilmembers' questions.

MOTION: Moved by Councilmember Welch, seconded by Councilmember Holder, to adopt Resolution 2017-06 Adjusting Fees for City Licenses, Permits and Other Services. On vote the motion carried (7-0-0-0).

Ordinance No. 990 Amending LSMC 2.56 re Park and Recreation Planning Board.

In response to Councilmember Hilt's question, Director Wright said this Ordinance has not been reviewed by the Administration subcommittee. Director Wright said staff is proposing this amendment to the Park Board because the Park Board's work program has intensified and there is not always a quorum at the meetings so the Park Board cannot move forward in that situation. Also, during the last round of applications, there were some excellent applicants, and staff wants to be sure the City can tap into their skills and at the same time move the Park Board's mission forward. The alternate would fulfill the void in the case where a quorum is not present.

Councilmember McDaniel suggested if the Council approves this ordinance, it should also make similar changes to all of the City's boards and commissions.

Councilmember Hilt said that alternates are not voting members unless there is an absence. His recommendation is that this be reviewed by the Administration Subcommittee and then be brought back for further consideration.

MOTION: Moved by Councilmember Hilt, seconded by Councilmember McDaniel to refer Ordinance No. 990 to the Administration subcommittee. On vote the motion carried (7-0-0-0).

Executive Session: Mayor Spencer announced an executive session beginning at 8:32 p.m. and lasting 20 minutes for the purpose of discussing three real estate topics and one personnel action, with action to follow.

Attorney Weed clarified action is anticipated on one of the real estate matters.

Councilmember Tageant said he will not be attending or voting on the portion of the executive session that has to do with the real estate matters.

At 8:42 p.m. Councilmember Tageant left the meeting

At 8:57 p.m. City Administrator Brazel extended the executive session 10 minutes.

At 9:07 p.m. the regular meeting of the City Council was reconvened.

MOTION: Moved by Councilmember Hilt, seconded by Councilmember McDaniel, to authorize the Mayor to enter into two extension agreements regarding a purchase and sale of real property associated with Lake Stevens Senior Housing. On vote the motion carried (6-0-0-1).

Study Session: None.

Adjourn:

Moved by Councilmember Hilt, seconded by Councilmember Daughtry, to adjourn the meeting at 9:08 p.m. On vote the motion carried (6-0-0-1).

John Spencer, Mayor

Kathy Pugh, Deputy City Clerk



LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Date: **Agenda** April 11, 2017

Subject: Lyons Gate II Rezone (LUA2016-0191)

Contact Person/Department: Melissa Place, Planning & Community Development **Budget Impact:** none

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL:

1. Closed Record Public Hearing and First and Final Reading for Ordinance 993 related to the Lyons Gate II Rezone (LUA2016-0191).
2. **Motion to approve Ordinance 993:** An ordinance of the city of Lake Stevens, amending the zoning for two parcels totaling five acres as part of the Lyons Gate II Rezone (City File No. LUA2016-0191) located at 1615 and 1621 83rd Ave SE, Lake Stevens, WA 98258 and changing the zoning on the subject parcels from Urban Residential (UR) to High Urban Residential (HUR).

SUMMARY:

Closed Record Public Hearing and First and Final Reading of Ordinance 993 (**Exhibit 1**) related to the Lyons Gate II Rezone (LUA2016-0191).

BACKGROUND/HISTORY:

The applicant, Tim Kaintz of JM1 Holdings, LLC, has applied for a site-specific rezone, pursuant to Lake Stevens Municipal Code (LSMC) 14.16C.090(b)(1), of two parcels totaling approximately five acres in the Urban Residential (UR) zoning district, located at 1615 and 1621 83rd Ave SE, Lake Stevens, WA. The applicant requests that the subject parcel change from the Urban Residential (UR) zoning district to the High Urban Residential (HUR) zoning district. No change is proposed to the underlying Medium Density Residential (MDR) land use designation. The applicant has submitted a Type III preliminary plat application concurrently with the rezone application for a 34-lot residential subdivision with associated improvements on the same properties. The subdivision is proposed to be accessed via connections with 83rd Avenue SE and 17th Ave SE.

The properties directly east, north and south are zoned Urban Residential and are identified by the Medium Density Residential land use designation. The property directly west (across 83rd Ave SE) is zoned High Urban Residential and is identified by the High Density Residential land use designation.

The application is proposing access to the new subdivision off of 83rd Ave SE and 17th St SE. The applicant has submitted a traffic impact memorandum. The existing zoning would result in 190 additional average daily trips and 20 additional PM peak-hour trips. Rezoning to HUR would result in approximately 305 average daily trips and 32 PM peak-hour trips. When compared to the current existing potential build-out, the approval of the rezone request would generate 115 more average daily trips, and 12 more PM peak-hour trips than what would result from subdivision of the property with the current Urban Residential zoning.

The project site is characterized by a small existing Category III wetland in the northeastern corner of the property which is subject to the requirements of Chapter 14.88 LSMC. The project site is also located within the 20th St Subarea.

Site-specific rezones are Type IV applications subject to a recommendation from the Hearing Examiner to City Council per Chapter 14.16A – Table 14.16A-I and Part IV – Chapter 14.16B. The proponent has submitted a project narrative in support of the rezone.

The city received the application on December 2nd and 15th, 2016 and issued a Determination of Completeness on December 15, 2016. A public meeting was held on February 8, 2017. A public hearing was held on March 16, 2017 and the Hearing Examiner issued a recommendation of approval on March 30, 2017. City staff provided public notice for all actions by a combination of publication in the Everett Herald, direct mailings, posting the site and posting city bulletin boards.

The State of Washington Growth Management Act (GMA) requires cities and counties to engage in a planning process. The thirteen exclusive goals that guide this process include but are not limited to urban growth, sprawl reduction, housing, property rights, the environment, public participation and provisions for public services. The City of Lake Stevens must balance these sometimes competing goals and produce a Comprehensive Plan that guides future development, and this Plan is then implemented through municipal code pursuant to specific development regulations. The Lake Stevens Hearing Examiner has determined that this rezone request is consistent with the Comprehensive Land Use Map and policies, is in compliance with the Growth Management Act and is in general conformance with the Lake Stevens Municipal Code (LSMC).

Any future land use action resulting from the rezone will be subject to the rules and standards in effect at the time of application, including but not limited to public noticing, subdivision, construction, environment review, critical areas, streets and stormwater.

FINDINGS AND CONCLUSIONS:

The Hearing Examiner has found the Lyons Gate II Rezone to be consistent with LSMC 14.16C.090 and has submitted a recommendation (**Exhibit 1**) to the City Council recommending approval of the proposal with conditions based on the findings and conclusions contained in the staff report (**Exhibit 2**).

APPLICABLE CITY POLICIES: Chapters 14.16A, 14.16B and 14.16C of the Lake Stevens Municipal Code

BUDGET IMPACT: There is not a budget impact.

EXHIBITS (attached):

Exhibit 1 – Ordinance 993, with exhibits including the Hearing Examiner Recommendation

Exhibit 2 – Hearing Examiner Staff Report

**CITY OF LAKE STEVENS
LAKE STEVENS, WASHINGTON****ORDINANCE NO. 993****AN ORDINANCE OF THE CITY OF LAKE STEVENS, AMENDING THE ZONING FOR 5.0 ACRES AS PART OF THE LYONS GATE II REZONE (CITY FILE NO. LUA2016-0191) LOCATED AT 1615 & 1621 83RD AVE SE, LAKE STEVENS, WA 98258 AND CHANGING THE ZONING OF TWO PARCELS CURRENTLY ZONED URBAN RESIDENTIAL TO HIGH URBAN RESIDENTIAL.**

WHEREAS, the City received an application for a site-specific rezone (City File No. LUA2016-0191) on December 2nd and 15th, 2016 referred to as the Lyons Gate II Rezone; and

WHEREAS, the Lyons Gate II Rezone includes approximately 5.0 acres adjacent to 83rd Ave SE (**Exhibit A**). The proposal would change the zoning designation on parcels 29052400300600 and 29052400300500 from Urban Residential (UR) to High Urban Residential (HUR). Pursuant to the requirements for a site-specific zoning map amendment in Lake Stevens Municipal Code (LSMC) 14.16C.090, no change is proposed to the underlying Medium Density Residential (MDR) comprehensive plan land use designation.

WHEREAS, Section 14.16C.090 of the Lake Stevens Municipal Code (LSMC) sets forth the process for rezone applications; and

WHEREAS, pursuant to LSMC 14.16C.090(b) the rezone is a minor amendment, as there are less than five tracts and less than 50 acres involved.

WHEREAS, the Comprehensive Plan land use designation for the subject parcel is Medium Density Residential (MDR) which supports the High Urban Residential (HUR) zoning designations per Table 14.36-I as found in Chapter 14.36 LSMC; and

WHEREAS, Ordinance No. 468 establishes that the High Urban Residential designation has been adopted into Chapter 14.36 (Zoning Districts and Zoning Map) LSMC. Chapters 14.40 and 14.48 LSMC contains the applicable use and development regulations for the High Urban Residential zoning district.

WHEREAS, the city and its partner agencies did review the application materials pursuant to the requirements of LSMC 14.16C.090; and

WHEREAS, the city determined the proposal to be exempt from a State Environmental Policy Act (SEPA) checklist pursuant to Chapter 16.04 LSMC and the WAC 197-11-800(6)(c); and

WHEREAS, the city is in receipt of public comments submitted in writing and presented orally at the duly-held public meeting and the duly held public hearing on March 16, 2017; and

WHEREAS, site-specific zoning map amendments are Type IV quasi-judicial decisions, per Table 14.16A-I as found in Chapter 14.16A LSMC, which requires a recommendation from the Hearing Examiner to City Council based on written findings and conclusions and supported by

evidence from an open-record hearing; and

WHEREAS, the Hearing Examiner conducted a duly noticed open-record public hearing on March 16, 2017, and all public testimony has been given full consideration; and

WHEREAS, the Hearing Examiner on March 30, 2017 provided the City with a decision recommending approval of the rezone request, subject to conditions, as the proposed rezone meets the legal criteria for approving a rezone as set forth in LSMC 14.16C.090 and applicable state requirements; and

WHEREAS, the City Council considered the Hearing Examiner's recommendation at a closed record public hearing on April 11, 2017.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LAKE STEVENS DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. The City Council adopts and incorporates the findings and conclusions for approving a rezone as set forth in the Hearing Examiner's recommendation, pursuant to LSMC 14.16C.090, and adopts the Hearing Examiner's Recommendation, including the conditions of approval, attached hereto as **Exhibit B**, dated March 30, 2017 and the city council staff report, dated April 11, 2017.

Section 2. The City Council makes the following conclusions based on the entire record of this proceeding, including all testimony and exhibits:

- A. The open record public hearing of the Hearing Examiner and the closed record public hearing of the City Council satisfy the public participation requirements of Chapter 14.16A LSMC.
- B. The SEPA process conducted for this ordinance satisfies the requirements of the State Environmental Policy Act codified in Chapter 43.21C RCW as implemented by Chapter 197-11 WAC and Title 16 LSMC.
- C. The zoning map amendment adopted by this ordinance complies with the Growth Management Act (Chapter 36.70A RCW).
- D. The zoning map amendment adopted by this ordinance is consistent with the adopted Lake Stevens Comprehensive Plan per Ordinance No. 980.

Section 3. The Official Zoning Map is hereby amended, as depicted in **Exhibit A**, by changing the zoning on parcels 29052400300600 and 29052400300500 to High Urban Residential (HUR).

Section 4. The city will review future development applications for the property receiving the High Urban Residential zoning district designation under the applicable use and development regulations of the Lake Stevens Municipal Code in effect at the time of application.

Section 5. Severability. If any section, clause, phrase, or term of this ordinance is held for any reason to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance, and the remaining portions shall be in full force and effect.

Section 6. Effective Date and Publication. A summary of this ordinance consisting of its title

shall be published in the official newspaper of the City. This ordinance shall take effect and be in full force five days after the date of publication.

PASSED by the City Council of the City of Lake Stevens this 11th day of April, 2017.

John Spencer, Mayor

ATTEST/AUTHENTICATION:

Kathleen Pugh, Deputy City Clerk

APPROVED AS TO FORM:

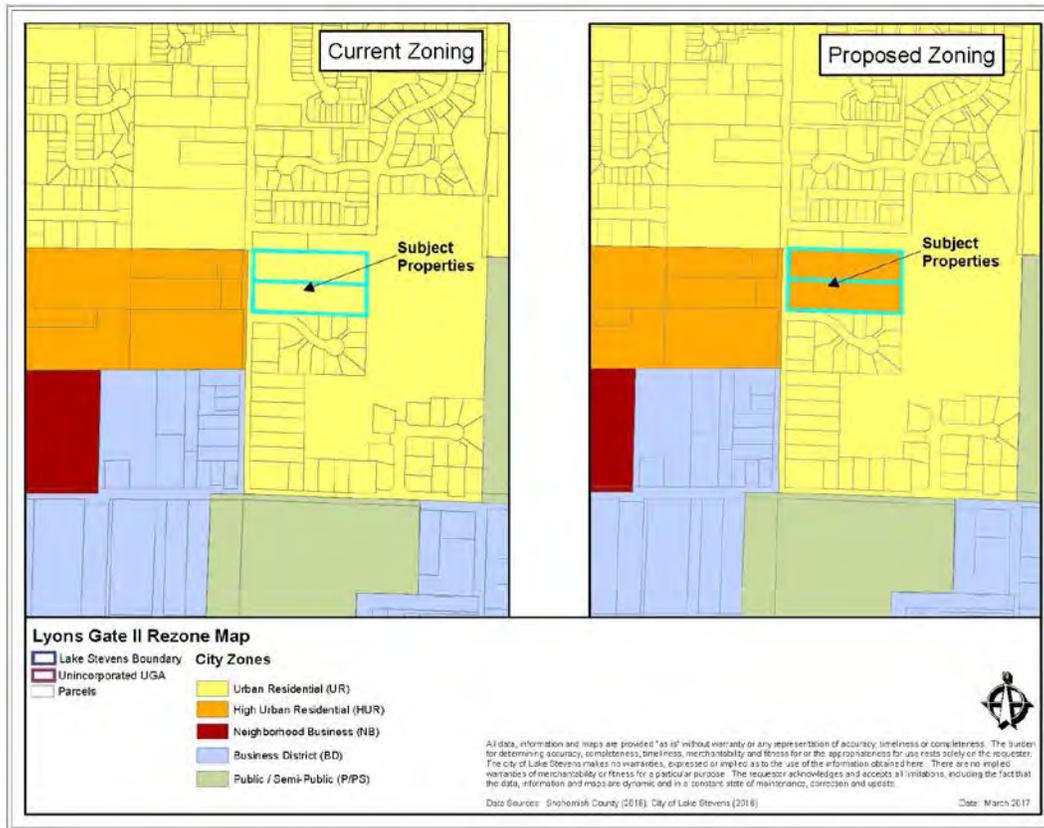
Grant K. Weed, City Attorney

First Reading: April 11, 2017

Published:

Effective Date:

Exhibit A



Project #: LUA2016-0191
Current Zoning: Urban Residential
Proposed Zoning: High Urban Residential

EXHIBIT B

BEFORE THE HEARING EXAMINER FOR THE CITY OF LAKE STEVENS

In the Matter of the Application of)	No. LUA2016-0191
)	
Patrick McCourt, on behalf of)	
Tim Kaintz, JM1 Holdings, LLC)	Lyons Gate II Rezone
)	
)	
)	FINDINGS, CONCLUSIONS,
<u>For a Site-Specific Rezone</u>)	AND RECOMMENDATION

SUMMARY OF RECOMMENDATION

The Hearing Examiner recommends that the request to rezone two parcels from Urban Residential to High Urban Residential, at 1615 and 1621 83rd Ave SE, be **APPROVED**, with conditions.

SUMMARY OF RECORD

Hearing Date:

The City of Lake Stevens Hearing Examiner held an open record hearing on the request on March 16, 2017.

Testimony:

The following individuals presented testimony under oath at the open record hearing:

- Melissa Place, City Senior Planner
- Patrick McCourt, Applicant Representative
- Sally Jo Sebring

Exhibits:

The following exhibits were admitted into the record:

1. Land Use Development Application, received December 2, 2016
2. Application Materials:
 - a. Project Narrative, dated December 15, 2016
 - b. Preliminary Plat Map (Sheet 1 of 1), dated January 18, 2017
 - c. Preliminary Site Plan (Sheet 1 of 1), dated January 20, 2017
 - d. Critical Area Study and Buffer Mitigation Plan, Wetland Resources, Inc., dated December 7, 2016
 - e. Revised Geotechnical Engineering Study, Earth Solutions NW, LLC, dated January 10, 2017
 - f. Traffic Memorandum, Gibson Traffic Consultants, Inc., dated December 13, 2016

Findings, Conclusions, and Recommendation
City of Lake Stevens Hearing Examiner
Lyons Gate II Site-Specific Rezone, No. LUA2016-0191

3. Notice of Complete Application, dated December 15, 2016
4. Notice Materials:
 - a. Notice of Application, dated December 24, 2016
 - b. Affidavit of Notice (Application), dated December 24, 2016
 - c. Notice of Design Review Board (DRB) Meeting and Public Meeting, undated
 - d. Affidavit of Notice (DRB and Public Meeting), dated January 23, 2017
 - e. Notice of Public Hearing, undated
 - f. Affidavit of Notice (Public Hearing), dated March 3, 2017
5. Public Comments and Staff Responses:
 - a. Email from Sammie Thurber to Melissa Place, dated January 24, 2017
 - b. Email from Melissa Place to Sammie Thurber, dated January 27, 2017
 - c. Email from Sally Jo Sebring to Melissa Place, dated February 1, 2017, with email string
 - d. Comments of Sammie Thurber, received at DRB Meeting, February 8, 2017
 - e. Email from Robert Chamuler to Melissa Place, dated March 8, 2017
6. SEPA Categorical Exemption Determination, dated January 13, 2017
7. Rezone Map, dated March 2017
8. Additional Traffic Information, dated March 16, 2017
9. Email from Melissa Place to Sammie Thurber, dated March 14, 2017, with email string
10. Email from Melissa Place to Robert Chamuler, dated March 14, 2017, with email string
11. Applicant Response to Robert Chamuler, dated March 11, 2017
12. Applicant Response to Sammie Thurber, dated March 14, 2017
13. Staff Report, dated March 9, 2017

The Hearing Examiner enters the following findings and conclusions based upon the testimony and exhibits admitted at the open record hearing:

FINDINGS

Application and Notice

1. Patrick McCourt, Land Pro Group, Inc., on behalf of Tim Kaintz and JM1 Holdings, LLC (Applicant), requests a zoning map amendment to rezone two parcels, totaling approximately 5 acres, from Urban Residential to High Urban Residential. The parcels are located at 1615 and 1621 83rd Ave SE. If the rezone request were approved, the Applicant would proceed with a preliminary plat application to subdivide the property into a residential subdivision with 34 lots and associated improvements.¹ *Exhibit 1; Exhibit 2; Exhibit 7; Exhibit 13, Staff Report, page 1.*
2. The City of Lake Stevens (City) determined the application was complete on December 15, 2016. On December 22, 2016, the City posted notice of the application at the

¹ The property subject to the rezone request is identified by Snohomish County tax parcel numbers 29052400300500 and 29052400300600. A legal description of the property is included with the application. *Exhibit 1.*

Planning Department. The next day, the City posted notice on the property, at City Hall, and the City's website and mailed notice to applicable agencies and property owners within 300 feet of the site. On December 24, 2016, the City published notice in the *Everett Herald*. On January 18, 2017, the City posted notice of the open record hearing associated with the application at City Hall and at the Planning Department. On January 20, 2017, the City mailed notice to property owners within 300 feet of the site and applicable agencies. On January 23, 2017, the City published notice in the *Everett Herald*. The City received no comments from applicable agencies on the proposal. As discussed in greater detail below, the City received several comments from area residents in response to its notice materials. *Exhibits 4.a through 4.f; Exhibit 5; Exhibit 9; Exhibit 10; Exhibit 11; Exhibit 12; Exhibit 13, Staff Report, pages 2 and 3.*

State Environmental Policy Act

3. City staff determined that the rezone was categorically exempt from review under the State Environmental Protection Act (SEPA), Chapter 43.21C Revised Code of Washington (RCW), and issued a categorical exemption determination for the proposal on January 13, 2017. Under Washington Administrative Code (WAC) 197-11-800(6)(c), the rezone proposal is exempt from environmental review because the project site is in an urban growth area, the rezone does not require an amendment to the City's Comprehensive Plan, and the Comprehensive Plan was previously subject to environmental review. If the rezone request were approved, further environmental review would occur during the plat application process. *Exhibit 6; Exhibit 13, Staff Report, page 3.*

Existing Property, Comprehensive Plan, and Zoning

4. The western portions of both parcels are currently developed with single-family residences, outbuildings, and lawn and garden areas. The remainder of the property is forested. Future access to the site would be from a new road connected to 83rd Avenue SE, with secondary access provided from 17th Street NE. If the rezone request were approved, the Applicant would remove the existing residences on-site and proceed with a preliminary plat application to subdivide the property into a residential subdivision with 34 lots and associated improvements. *Exhibit 1; Exhibit 2; Exhibit 13, Staff Report, pages 1 and 2.*
5. The Growth Management Act (GMA), RCW 36.70A, requires certain cities and counties to engage in a planning process. *RCW 36.70A.040*. Thirteen exclusive goals guide that process. *RCW 36.70A.020*. The goals address urban growth, sprawl reduction, transportation, housing, economic development, property rights, permitting, natural resource industries, open space and recreation, the environment, citizen participation and coordination, public facilities and services, and historic preservation. *RCW 36.70A.020*. Any jurisdiction subject to the GMA's planning requirement must balance these sometimes competing goals (*see Feil v. E. Wash. Growth Mgmt. Hrgs. Bd.*, 172 Wn.2d 367, 259 P.3d 227 (2011)) and produce a comprehensive plan that guides future growth

and development. *RCW 36.70A.040-.120*. The jurisdiction must then enact development regulations implementing the comprehensive plan and otherwise act in conformity with the comprehensive plan. *RCW 36.70A.120*.

6. Here, the City designated the property Medium Density Residential (MDR) under the City Comprehensive Plan. The MDR designation allows single-family, two-family, and some multi-family residential development, with a gross density of 4 to 12 units per acre. This includes “detached, attached, conversion, accessory apartments, townhouses, condominiums, duplexes, tourist homes, special service homes, and some manufactured/mobile structures.” *City Comprehensive Plan, Land Use Element, page LU-14 (September 2015, as amended)*. The MDR designation also allows limited public/semi-public, community, recreational, and commercial uses that should be located in transitional areas between high-density designations and rural areas where infrastructure is readily available. Surrounding properties to the north, south, and east are also designated MDR. Property to the west is designated High Density Residential under the Comprehensive Plan. *Exhibit 13, Staff Report, pages 2 and 3*.
7. The property is currently located in the City’s Urban Residential (UR) zoning district. Surrounding properties to the north, south, and east are also zoned UR, and property to the west is designated High Urban Residential (HUR). The UR zoning district is designed primarily to accommodate single-family detached residential uses at medium densities in areas served by public water and sewer facilities. *Lake Stevens Municipal Code (LSMC) 14.36.010(b)*. The purpose of the HUR zone is to accommodate higher density residential uses that may include multi-family condominiums, apartments, townhouses, and row houses. *LSMC 14.38.020(f)*. Both the UR and HUR zoning designations are allowed within areas designated MDR under the City’s Comprehensive Plan. *Exhibit 1; Exhibit 13, Staff Report, pages 2 and 3*.

Critical Areas

8. The Applicant submitted a critical area study and buffer mitigation plan, prepared by Wetland Resources, Inc., addressing on-site critical areas. Wetland Resources determined that the site contains one Category III wetland in the northeast corner of the property that would not be impacted by the proposed rezone or site development. The on-site wetland and required buffers would limit the amount of lots feasible for development on the property. The Applicant plans to proceed with a plat application for 34 residential lots – as opposed to the maximum of 61 allowed in the HUR zone – because of critical area buffers, and other areas set aside for roads, easements, and other public rights-of-way. Further environmental review would occur during the plat application process. *Exhibit 2.d; Exhibit 13, Staff Report, page 7*.

Traffic Impacts

9. The Applicant submitted a traffic analysis memorandum, prepared by Gibson Traffic Consultants, Inc., addressing traffic impacts from the rezone request. Gibson determined

that, if the property were fully developed under the existing (UR) zoning designation, it would result in 190 additional average daily trips and 20 additional PM peak-hour trips. If the property were fully developed under the HUR zoning designation, it would result in approximately 305 average daily trips and 32 PM peak-hour trips. Gibson determined that the proposed rezone would have no adverse impacts to existing service levels in the area, and the City's Public Works Department concurs with this assessment. Further review of traffic impacts would occur during the plat application process. *Exhibit 2.f; Exhibit 13, Staff Report, page 7.*

Site-Specific Rezone

10. The Applicant submitted a project narrative addressing the specific rezone criteria of LSMC 14.16C.090(g). Specifically, the project narrative argues that the rezone would be appropriate because:
- The proposed rezone would conform to the currently adopted Comprehensive Plan land use designation for the property and would not require a Comprehensive Plan amendment. The proposed rezone would also be compatible with the 20th Street Subarea plan.
 - The City adopted the MDR designation for the property in compliance with the GMA and the rezone would not impact the MDR designation.
 - The proposed rezone would advance the public health, safety, and welfare because, when the property is further developed, it would add public roads, sidewalks, and utility connections.
 - Pending applications of other properties designated HUR in the immediate area of the subject property reflect densities less than that allowed in the zone. The reduced densities are the result of critical areas, buffers, and utility easements. Trestle Station, for instance, was sited on a 6.1-acre parcel, but over 4 acres of that parcel were designated as critical areas, significantly reducing buildable area within the HUR zone. Allowing increased density on the subject property would replace residential density that has been lost in the area because of critical areas, buffers, and easements.
 - The property is suitable for development under the zoning standards of the HUR zone. If the rezone were approved, the Applicant would proceed with a plat application to subdivide the property into 34 residential lots with associated improvements.
 - The proposed rezone would be generally compatible with surrounding homes and other residential neighborhoods in the area.
 - All public utilities and services are available to the subject property.
 - The Applicant would develop the property to avoid impacts to the on-site wetland. The Applicant would also pay school, traffic, and park impact fees as part of the platting process.
 - The rezone would not increase the established intensities for traffic and residential development adopted as part of the 20th Street Subarea planned action ordinance.

Exhibit 2.a.

11. The Applicant would be required to comply with SEPA and the best available science provisions of the GMA at the time of any future development permit application. Conditions of approval related to a specific land use application would require the Applicant to comply with City ordinances, including its critical area ordinances, and compliance would mitigate environmental impacts of the rezone and any proposed subdivision. *Exhibit 2; Exhibit 13, Staff Report, pages 3 and 7.*

Public Comments

12. The City received several public comments on the application prior to the open record hearing:

- Sammie Thurber expressed concern about traffic impacts, especially for the intersection of 83rd Avenue SE and 20th Street SE. She also inquired about fencing requirements were the subdivision proposal to move forward and expressed concerns about tree retention and system development charges for water and sewer.
- Robert Chamuler also expressed concern about traffic and noted that, in the 30 years his family has lived on 83rd Avenue SE, he has seen a tenfold traffic increase at certain times of day. He requested that the rezone request be denied.
- Sally Jo Sebring noted that the City erred in its initial notice materials by stating that the Applicant was seeking to change the zoning designation from MDR to HUR, rather than from UR to HUR.

Exhibit 5.

13. City staff responded to each public comment. Specifically, staff noted:

- Were the plat application to move forward, the Applicant would be required to make improvements to 83rd Avenue SE, including street widening and installation of curb, gutter, planter strips, and sidewalks.
- The proposal is within the 20th Street Subarea, which sets specific quotas for the number of residential units allowed in the area. These quotas have not yet been reached.
- The City realizes that 20th Street SE, and by association 83rd Avenue SE, has significant traffic volumes, particularly during the morning rush hour. The City is in the process of designing improvements and acquiring rights-of-way to construct those improvements. In addition, the State, County, City, and City of Everett are in the process of developing a funding strategy and implementation plan for improvements to the east-end interchange and for upgrade/improvement of the US 2 westbound trestle to alleviate congestion in the area.

Exhibit 5; Exhibit 9; Exhibit 10; Exhibit 13, Staff Report, page 3.

14. The Applicant also responded to the public comments noting that it is aware that the City is working to improve the intersection of 83rd Avenue SE and 20th Street SE and that it supports local efforts to acquire funding to improve traffic congestion related to the

trestle. The Applicant also noted that it would pay all water and sewer connection fees if the plat process moves forward, that no screening would be required between the proposed development and the Cardinal Estates property (where Ms. Thurber lives), and that it would replace all removed trees on-site as required by the municipal code. *Exhibit 11; Exhibit 12.*

Testimony

15. Senior Planner Melissa Place testified generally about the application and how it would meet the site-specific rezone requirements of LSMC 14.16C.090(g). She noted that, if the rezone were approved and the Applicant moves forward with subdividing the land, the proposal would have to comply with all of the plat requirements of Chapter 58.17 RCW and Title 14 LSMC, including stormwater requirements, critical areas requirements, and requirements for construction plan approval. Ms. Place also reiterated the response to public concerns about traffic and environmental impacts from her written response letters: namely, that any future development would be subject to further environmental review and that the City is aware of traffic concerns in the area and is working on long-term solutions. *Testimony of Ms. Place.*
16. Area resident Sally Jo Sebring testified that area residents continue to be concerned about traffic problems within the 20th Street SE Subarea, especially because many of the traffic concerns should have been addressed prior to build-out of the subarea. She also stated that she is not sure that changed circumstances in the area warrant a rezone of the property because there would appear to be other properties in the area already zoned HUR that could be developed in the future. *Testimony of Ms. Sebring.*
17. In response to Ms. Sebring's comments, Applicant Representative Patrick McCourt testified that, when looking to develop the property, the Applicant considered several factors, including changes to stormwater requirements and critical area requirements that will impact all area development in the future. Because of these changes, including increased critical area buffers, the Applicant believes the City will have challenges meeting proposed density goals within the 20th Street SE Subarea. Accordingly, the rezone would allow greater density on the property and help meet identified density goals in the area. Mr. McCourt also testified about long-standing concerns related to traffic and noted that, as an area resident, he agrees that long-term solutions are necessary. With area development like the proposal, at least, traffic impact fees would provide necessary funding for such solutions. Mr. McCourt stressed that his company is local, that they take responsible development seriously, and that through payment of mitigation fees and efforts to coordinate a cohesive trail system within the 20th Street SE Subarea, the Applicant is doing everything in its power to be responsive to the needs of the community. *Testimony of Mr. McCourt.*

Staff Recommendation

18. Ms. Place testified that City staff recommends the Hearing Examiner forward a recommendation of approval, with two conditions, to the City Council. Mr. McCourt testified that he understands and agrees with the City's proposed conditions. *Exhibit 13, Staff Report, pages 7 and 8; Testimony of Ms. Place; Testimony of Mr. McCourt.*

CONCLUSIONS

Jurisdiction

The Hearing Examiner has jurisdiction to recommend approval of a site-specific rezone request under LSMC 14.16B.450 and 14.16C.090(c).

Criteria

The Hearing Examiner may recommend approval of a site-specific rezone request if the following criteria are satisfied:

- (1) The amendment complies with the Comprehensive Plan Land Use Map, policies, and provisions and adopted subarea plans;
- (2) The amendment is in compliance with the Growth Management Act;
- (3) The amendment serves to advance the public health, safety and welfare;
- (4) The amendment is warranted because of changed circumstances, a mistake, or because of a need for additional property in the proposed zoning district;
- (5) The subject property is suitable for development in general conformance with zoning standards under the proposed zoning district;
- (6) The amendment will not be materially detrimental to uses or property in the immediate vicinity of the subject property;
- (7) Adequate public facilities and services are likely to be available to serve the development allowed by the proposed zone;
- (8) The probable adverse environmental impacts of the types of development allowed by the proposed zone can be mitigated, taking into account all applicable regulations, or the unmitigated impacts are acceptable;
- (9) The amendment complies with all other applicable criteria and standards in this title.
- (10) If the proposal is located with an adopted subarea plan: (i) the rezone is to a zoning designation allowed within the applicable subarea; and (ii) the rezone does

not increase the established intensities adopted as part of the planned action ordinance or mitigates increased or additional impacts by supplementing or amending the applicable planned action draft and final environmental impact statement.

LSMC 14.16C.090(g).

Conclusions Based on Findings

The proposed rezone satisfies the criteria for approval found in LSMC 14.16.090(g) and should be approved. The proposed rezone would not require amendment of the City Comprehensive Plan and would be consistent with the Comprehensive Plan's Medium-Density Residential designation of the property: High Urban Residential (HUR) zoning is allowed in property designated Medium-Density Residential under the Comprehensive Plan. Conditions placed on any future land development permits would ensure that the proposal would comply with the development regulations required by the Growth Management Act and Title 14 of the Lake Stevens Municipal Code. The proposed rezone would, as conditioned, serve the public health, safety, and welfare. Changed circumstances (i.e., pending development within the area with reduced densities because of critical areas, buffers, and utility easements) warrant the rezone to replace lost density. The property is suitable for single-family residential development that complies with the standards of the HUR zone. Although the proposed rezone is categorically exempt from SEPA review, conditions of approval related to any specific land use application would ensure that the Applicant complies with all relevant environmental, stormwater, and critical areas regulations. The proposed rezone would not add a significantly greater number of vehicle trips than development of the property under its existing zoning designation, and further traffic analysis would occur when the Applicant seeks to subdivide or develop the property. Adequate public facilities and services are available to the property. The property proposed for rezone is within the 20th Street Subarea, a subarea designated for higher density residential development. The rezone would not increase the established intensities adopted as part of the planned action ordinance for the 20th Street Subarea and would mitigate school, traffic, and park impact through payment of impact fees. Although the public has expressed concerns over traffic and environmental impacts from development of the land in question, those concerns would be more adequately addressed when the Applicant brings a specific land use application forward.

Conditions are necessary to ensure that the Applicant adheres to requirements, if necessary, for development of the site (including obtaining additional information about traffic and environmental impacts) and that the Applicant complies with all applicable federal, state, and local regulations. *Findings 1 – 18.*

RECOMMENDATION

Based on the preceding findings and conclusions, the Hearing Examiner recommends the Applicant's request for a site-specific rezone of two parcels at 1615 and 1621 83rd Ave SE, from Urban Residential to High Urban Residential, be **APPROVED**, with the following conditions:

*Findings, Conclusions, and Recommendation
City of Lake Stevens Hearing Examiner
Lyons Gate II Site-Specific Rezone, No. LUA2016-0191*

1. **Exhibit 7** depicts the area to be rezoned from the Urban Residential zoning district to the High Urban Residential zoning district. This rezone is contingent upon the Hearing Examiner's recommendation of approval and final approval by the City Council. Upon approval, the proposed change shall be incorporated into an official revised Lake Stevens zoning map.
2. If the site is developed further, all future development shall comply with federal, state, and local regulations in effect at the time of application.

Recommended this 30th day of March 2017.

A rectangular box containing a handwritten signature in black ink. The signature appears to be "Andrew M. Reeves" written in a cursive style.

ANDREW M. REEVES
Hearing Examiner
Sound Law Center



Planning and Community Development
Type IV Review
Site-Specific Rezone
Lyons Gate II Rezone / LUA2016-0191

Hearing Date: Thursday, March 16, 2017 at 4:00 pm

A. PROJECT DESCRIPTION AND REQUEST

The applicant, Tim Kaintz of JM1 Holdings, LLC, has applied for a site-specific rezone, pursuant to Lake Stevens Municipal Code (LSMC) 14.16C.090(b)(1), of two parcels totaling approximately 5 acres, in the Urban Residential (UR) zoning district, located at 1615 and 1621 83rd Ave SE, Lake Stevens, WA (**Exhibit 1**). The applicant requests that the subject parcel change from the Urban Residential (UR) zoning district to the High Urban Residential (HUR) zoning district. No change is proposed to the underlying Medium Density Residential comprehensive plan land use designation.

The primary contact for the project, Patrick McCourt, has submitted a project narrative, site plan, critical areas mitigation plan, geotechnical report, and a traffic analysis memorandum in support of the proposed rezone (**Exhibit 2**). In addition, the applicant has submitted a Type III preliminary plat application for a 34-lot residential subdivision with associated improvements on the same properties. If the rezone is approved, the applicant will complete the processing of the subdivision.

The properties directly east, north, and south are zoned Urban Residential and are identified by the Medium Density Residential comprehensive land use designation. The property directly west (across 83rd Ave SE) is zoned High Urban Residential and is identified by the High Density Residential comprehensive land use designation. The project site is characterized by rolling slopes with a maximum at six percent and one on-site wetland in the northeast corner exists. Future access to the site would be via a new road connected to 83rd Ave SE (**Exhibit 2b**).

Site-specific zoning map amendment applications are Type IV permits subject to a public hearing and hearing examiner recommendation prior to a public hearing with City Council per Chapter 14.16A - Table 14.16A-I and Part IV - Chapter 14.16B.

B. GENERAL INFORMATION

1. Date of Application: December 2nd and 15th, 2016
2. Completeness Date: December 15, 2016
3. Project Name: Lyons Gate II Rezone
4. Project Location: 1615 and 1621 83rd Ave SE, Lake Stevens, WA 98258
5. Tax Parcel Number: 29052400300600 and 29052400300500
6. Property Owner: Skyline Properties Management, LLC
7. Applicant: Tim Kaintz of JM1 Holdings, LLC
8. Primary Contact: Patrick McCourt of Land Pro Group, Inc.
9. Total Area of Project: 5.0 acres

10. Comprehensive Plan Land Use Designations, Zoning Designation and Existing Land Uses of the Site and Surrounding Area:

AREA	LAND USE DESIGNATION	ZONING	EXISTING USE
Project Site	Medium Density Residential	Urban Residential	Single Family Residences
North	Medium Density Residential	Urban Residential	Single Family Residence/Manufactured Home Park
South	Medium Density Residential	Urban Residential	Single-Family Subdivision
East	Medium Density Residential	Urban Residential	Manufactured Home Park
West	Right-of-way/High Density Residential	Right-of-way/High Urban Residential	83 rd Ave SE/Pending Subdivision

11. Public Utilities and Services Provided by:

Water:	Snohomish County PUD	Gas:	Puget Sound Energy
Sewer:	Lake Stevens Sewer District	Cable TV:	Comcast
Garbage:	Allied Waste/Waste Management	Police:	City of Lake Stevens
Storm Water:	City of Lake Stevens	Fire:	Lake Stevens Fire District
Telephone:	Verizon	School:	Lake Stevens School Dist.
Electricity:	Snohomish County PUD	Hospital:	Providence Hospital

C. ANALYSIS¹

1. Application Process:

- a. The applicant, Tim Kaintz of JM1 Holdings, LLC, submitted a Type IV application for a site-specific rezone on December 2 and 15, 2016 (**Exhibit 1**), accompanied by a project narrative, site plan, critical areas mitigation plan, geotechnical report, and a traffic analysis memorandum (**Exhibit 2**). Rezones are Type IV permit applications pursuant to Chapter 14.16B LSMC: Part IV and subject to the regulations of LSMC 14.16C.090. The Hearing Examiner provides recommendations to the City Council for Type IV permits.
- b. The city deemed the application complete on December 15, 2016 (**Exhibit 3**).

CONCLUSION: The application meets the procedural requirements for Type IV applications established in Title 14 of the LSMC.

2. Notices²

- a. The city published a Notice of Application per LSMC 14.16A.230 and LSMC 14.16B.415 on December 24, 2016 (**Exhibit 4a**).

¹ Project analysis is based on a review of current materials applicable to the project and current City and Snohomish County records.

² Public notice includes a combination of project site and city website posting, publication in the Everett Herald and mailing of postcards pursuant to the requirements of Lake Stevens Municipal Code 14.16A.225 and LSMC 14.16B.405-480.

- b. The city published a Notice of Public Meeting per LSMC 14.16B.425 on January 23, 2017 (**Exhibit 4c**).
- c. The city published a Notice of Public Hearing per LSMC 14.16B.440 on March 3, 2017 (**Exhibit 4e**).

CONCLUSION: The city has met the noticing requirements for Type IV applications established in Chapter 14.16B LSMC.

3. Public Comment:

The city is in receipt of four written emails/letters of concern about the proposed rezone application (**Exhibit 5**).

a. Traffic

- i. The public voiced concerns about the increase in traffic from both the Lyons Gate I and Lyons Gate II projects and the impacts the developments may have on the 20th St SE and 83rd Ave SE intersection as well as increased traffic on 20th St SE heading to/from the Hwy 2 Trestle.
- ii. The applicant has submitted a traffic impact memorandum for staff review (**Exhibit 2f**). The approval of the proposed rezone will result in 115 more average daily trips, and 12 more PM peak-hour trips than what would result from a subdivision of the property with the current Urban Residential zoning.
- iii. The applicant will be required to make improvements to 83rd Avenue SE in conjunction with their project. These improvements will include widening, curb, gutter, planter strip and sidewalk. However, the applicant will not likely be required to make changes to the intersection of 83rd Avenue SE & 20th Street SE. These parcels are included within the 20th Street SE Subarea Plan which set a quota for the number of residential units allowed to be built before developers within the subarea must make improvements to intersections. These quotas have not yet been reached but the city realizes that 20th Street SE, and by association 83rd Avenue SE, have significant volumes of traffic, particularly in the morning rush hour, and are in the process of designing improvements and acquiring right-of-way to construct those improvements. The developer will also have to pay traffic impact fees per lot developed and the fees will go towards paying for the improvements the city is currently designing.

b. Rezone

- i. The public also pointed out an error in a public notice for the project in that the notice incorrectly stated that the existing zoning is MDR, which is a land use designation, not zoning district. The city responded in an email and has corrected it on public notices and reports thereafter.

c. Environmental

- ii. The public also voiced concerns regarding tree retention on the property, fencing along the perimeter of the property, and system development charges for water and sewer. These concerns are specific to the preliminary plat application rather than the rezone and are being addressed in conjunction with review of the plat and will be addressed in the preliminary plat staff report. The city will review all site-specific impacts related to the land use and zoning changes at the time of development permit application.

4. Comprehensive Plan and Permissible Uses:

- a. The existing and proposed comprehensive plan designations and zoning districts are identified in the following table. Pursuant to the thresholds for a site-specific zoning map

amendment as defined by LSMC 14.16C.090(b)(1), the proposed rezone will conform to the currently adopted Comprehensive Plan land use designation.

Existing Land Use Designation	Proposed Land Use Designation
Medium-Density Residential	NO CHANGE: Remains Medium-Density Residential
Existing Zoning District	Proposed Zoning District
Urban Residential	High Urban Residential

- b. Per LSMC 14.36.200, the HUR zoning district is compatible with the MDR land use designation of the Comprehensive Plan (see the excerpt of Table 14.36.200 below).

Table 14.36-I: Land Use Designation/Zone Compatibility Matrix

Zone	Comprehensive Plan Land Use Designation*												
	LDR	MDR	HDR	WR	D/LC	SRC	COM	MU	PBD	LI	GI	GIDA	P/SP
Suburban Residential		X											
Waterfront Residential		X		X									
Urban Residential		X					X						
High Urban Residential		X	X				X						
Multi-Family Residential			X										
Neighborhood Commercial	X	X	X										
Local Business					X								
Central Business District					X								

- c. Upon approval of the zoning map amendment change from the Urban Residential (UR) zoning district to the High Urban Residential (HUR) zoning district, the subject property will be subject to the regulations for the High Urban Residential zone. Chapters 14.40 and 14.48 LSMC contain the applicable development regulations for the High Urban Residential zone. LSMC 14.36.010 (a) and (d) establish the following objectives for the city's residential zones in general, and provide further detail on the purpose of the HUR zoning district:

“(a) The following residential districts are hereby established: Suburban Residential, Urban Residential, High Urban Residential, Waterfront Residential, and Multi-Family Residential. Each of these districts is designed and intended to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in

nonresidential districts. Other objectives of some of these districts are explained in the remainder of this section.

(d) The High Urban Residential (HUR-12) district is designed to accommodate single-family detached or attached residential uses at medium densities in areas served by public water and sewer facilities. Some types of two-family residences are allowed in these districts on larger lots.”

LSMC 14.36.010 provides further detail on the purpose of the UR zoning district:

“The Suburban Residential (SR-4) and Urban Residential (UR) districts are designed primarily to accommodate single-family detached residential uses at medium densities in areas served by public water and sewer facilities. Some types of two-family residences are allowed in these districts on larger lots.”

c. Development Intensity

Pursuant to the current 7,500 square foot minimum lot size requirement for lots in the Urban Residential (UR) zoning district per Table 14.48-I LSMC, the subject parcels have a gross density of 29 potential lots (5 acres x 43,560 square feet = 217,800 square feet / 7,500 square foot minimum lot size = 29 lots).

The parcel may have a gross density of 61 potential lots if the rezone is approved and the lots change to the High Urban Residential zoning district (5 acres x 43,560 square feet = 217,800 square feet / 3,600 square foot minimum lot size = 61 lots).

The amount of lots that are feasible on the entire project site is limited by the presence of the wetland and associated buffer, net area set aside for roads and public rights-of-way, and any other areas dedicated to the public. The approval of the rezone request would permit the applicant to create approximately 34 lots or more (up to 61) as proposed in their site plan. The city will review all site-specific impacts related to the land use and zoning changes at the time of development permit application.

CONCLUSION: The proposed rezone will conform to the currently adopted Comprehensive Plan land use designation and meet the intent of the proposed zoning district.

5. Rezone criteria:

Rezone criteria are found in LSMC 14.16C.090. The applicant has provided a narrative corresponding to the following specific criteria (**Exhibit 2a**). A brief analysis follows.

- i. *Rezoning are either site-specific or area-wide. Map amendments are considered major if they rezone five or more tracts of land in separate ownership or any parcel of land, regardless of the number of lots or owners, in excess of 50 acres. All other map amendments are minor.* The proposed rezone is for two parcels totaling approximately 5 acres in size. This proposal is a minor map amendment.
- ii. *Site-specific rezoning are rezoning of a particular property(ies) which conform to the Comprehensive Plan or an adopted subarea plan.* The proposed rezone will conform to the current Comprehensive Plan land use designation of Medium Density Residential. The proposed HUR zoning district is compatible with the MDR land use designation as per Table 14.36-I, Land Use Designation/Zone Compatibility Matrix. This proposal is a site-specific rezone.
- iii. *A site-specific rezone shall be reviewed in the manner and following the procedures established in Chapters 14.16A and 14.16B for a Type IV review.* The applicant has submitted a Type IV application (**Exhibit 1**) in compliance with LSMC 14.16C.090(c).

The proposal shall be referred to the Hearing Examiner for a recommendation to City Council pursuant to LSMC 14.16C.090(e)(1).

- iv. *Amendments to the Official Zoning Map may be initiated by the City Council, the Planning Commission, or the City Administration. (2) Any other person may also petition the Planning Department to amend the Official Zoning Map. The petition shall be filed with the Department of Planning and Community Development and shall include: (i) The name, address, and phone number of the applicant; (ii) A description of all land proposed to be rezoned including a map highlighting the specific parcels; and (iii) A rationale for the proposed map changes.* The applicant has submitted a Type IV application (**Exhibit 1**) and a project narrative (**Exhibit 2a**) in compliance with LSMC 14.16C.090(d).
- v. *No application shall be filed which on its face will not comply with the Lake Stevens Comprehensive Plan. No change is proposed to the underlying Comprehensive Plan Land Use designation.*
- vi. *No application without signatures of owners representing 75 percent of the area proposed for rezone shall be filed or accepted for filing.* Terry Klett, a member of Skyline Properties Management who owns the property has signed the application.
- vii. **Decision Criteria:**
 - 1. If the rezone is approved, the proposal will be consistent with the Comprehensive Land Use Map designation of Medium Density Residential and the adopted 20th St Subarea Plan.
 - 2. The rezone is consistent with the Growth Management Act as the city can establish its local zoning and has met public notice requirements.
 - 3. The amendment will advance the public health, safety and welfare of the public pursuant to added roads and sidewalks, utility connections and the construction of housing in advancement of the Housing Element Goals and Policies of the city's Comprehensive Plan.
 - 4. The amendment is warranted because of a need for additional property in the proposed zoning district.
 - 5. The site contains adequate area to develop and will be accessed via connections with At the time of development, any application will need to meet state and local regulations in effect and ensure concurrency standards are met.
 - 6. The proposal will not be materially detrimental to adjacent land uses as conditioned.
 - 7. As conditioned and in accordance with municipal standards there will be adequate infrastructure to develop the site under the proposed zoning.
 - 8. Environmental impacts can be mitigated.
 - 9. The proposal complies with municipal standards for a rezone application.
 - 10. The project is within a designated subarea and the rezone is to a zoning designation allowed within the applicable subarea. In addition, the rezone does not increase the established intensities adopted as part of the planned action ordinance; the number of proposed dwelling units and PM peak hour trips are within the planned action development thresholds established for the subarea.

CONCLUSION: As proposed and as conditioned herein, the rezone satisfies the rezone and decision criteria established in LSMC 14.16C.090.

6. Environmental Review and Critical Areas:

- a. The proposal is exempt from SEPA review pursuant to Chapter 16.04 LSMC and the WAC 197-11-800 (6)(c) because the applicant does not propose an amendment to the city's Comprehensive Plan (**Exhibit 6**).
- b. There is a Category III wetland identified on the property which will be subject to the requirements of Chapter 14.88 LSMC at the time of development (**Exhibit 2d**).

CONCLUSION: The application as conditioned meets the SEPA standards identified in Chapter 16.04 LSMC. Development near identified critical areas will be subject to the requirements of Chapter 14.88 LSMC.

7. Traffic Impacts:

- a. Chapter 14.112 LSMC establishes mitigation requirements for traffic impacts to Lake Stevens' roads from development.
- b. The property is located in the Traffic Impact Zone 3: West Lake Stevens. The subject property will be subject to applicable traffic impact fees in effect at the time of future development.
- c. The applicant submitted a traffic analysis memorandum on December 15, 2016 (**Exhibit 2f**). The existing zoning would result in 190 additional average daily trips and 20 additional PM peak-hour trips. Rezoning to HUR would result in approximately 305 average daily trips, and 32 PM peak-hour trips. When compared to the current existing potential build-out, the approval of the rezone request would generate 115 more average daily trips, and 12 more PM peak-hour trips. Public Works approved this rezone and memorandum in December of 2016 and has determined that there will be no adverse impacts to existing service levels pursuant to the application of traffic impact mitigation fees per Chapter 14.112 LSMC. Traffic impacts, should the proposal be approved, would result in an increase of 12 PM Peak Hour trips over the current zoning, which has a negligible effect on levels of service measured at key intersections.

CONCLUSION: The applicant as conditioned meets the Traffic Impact standards at the time of development.

D. CONDITIONS

The requested site-specific minor zoning map amendment (LUA2016-0191) is consistent with the rezone criteria, permit processing procedures, the existing Comprehensive Land Use designation and all other applicable municipal code requirements, subject to the Conditions noted below:

1. **Exhibit 7** depicts the area to be rezoned from the Public/Semi-Public zoning district to the High Urban Residential zoning district. This rezone is contingent upon the Hearing Examiner's recommendation of approval and final approval by City Council. Upon approval, the proposed change will be incorporated into an official revised Lake Stevens zoning map.
2. If the site is redeveloped all future development must comply with federal, state and local regulations in effect at the time of application.

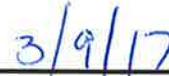
E. STAFF RECOMMENDATION

Staff recommends that the Hearing Examiner forward a **RECOMMENDATION OF APPROVAL, SUBJECT TO THE CONDITIONS IN SECTION D**, to City Council.

CITY OF LAKE STEVENS, DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

Recommendation Completed by


Melissa Place, Senior Planner


Date of Completion

F. RECONSIDERATION AND APPEALS

Any party of record may file a written request with the Hearing Examiner for reconsideration within 10 business days of the date of the Hearing Examiner's decision pursuant to LSMC 14.16B.450(f). The request shall explicitly set forth alleged errors of procedure or fact. The Hearing Examiner shall act within 14 days after the filing of the request for reconsideration by denying the request, issuing a revised decision, or calling for an additional public hearing.

Any party of record may appeal the City Council's final decision to the Snohomish County Superior Court by filing a land use petition, which meets the requirements set forth in Chapter 36.70C RCW. The petition must be filed and served upon all necessary parties as set forth in State law and within the 21-day time period as set forth in RCW 36.70C.040 pursuant to LSMC 14.16B.730. The appeal period shall commence upon the City Council's final decision and not upon expiration of the reconsideration period.

G. EXHIBITS¹

1. Type IV Application, received on December 2, 2016
2. Rezone Application Package
 - a. Project Narrative, revised on December 15, 2016
 - b. Preliminary Plat
 - c. Site Plan
 - d. Critical Area Study and Buffer Mitigation Plan, revised December 7, 2016
 - e. Geotechnical Report, revised January 10, 2017
 - f. Traffic Analysis Memorandum, revised December 13, 2016
3. Notice of Complete Application, issued on December 15, 2016
4. Notices
 - a. Notice of Application issued on December 24, 2016
 - b. Affidavit of Public Notice
 - c. Notice of Design Review Board Meeting and Public Meeting issued January 23, 2017
 - d. Affidavit of Public Notice for Meeting
 - e. Notice of Public Hearing issued on March 3, 2017
 - f. Affidavit of Public Notice for Public Hearing

5. Emails and letters of concern with staff responses
6. SEPA Exemption dated January 13, 2017
7. Rezone Map

Distributed to the Following Parties:

1. Tim Kaintz, C47-1 Tyler LLC
2. Patrick McCourt, Land Pro Group Inc.
3. Bob Nehring, Sound Design Engineering
4. Terry Klett, Skyline Properties Management
5. Gladys Balleaux
6. Sammie Thurber
7. Sally Jo Sebring
8. Robert Chamuler



FILE COPY

Planning and Community Development
 1812 Main Street, P O Box 257
 Lake Stevens WA 98258
 Phone Number (425) 377-3235

To Be Completed By Staff

Date of Application: _____
 Staff Initials: _____
 Permit Number: LWA2016-091

**TYPE IV, V AND VI - COUNCIL DECISIONS
 LAND USE DEVELOPMENT APPLICATION**

CHECK ONE

<p>TYPE IV – Quasi-judicial</p> <p><input type="checkbox"/> Essential Public Facility</p> <p><input type="checkbox"/> Planned Neighborhood Development</p> <p><input checked="" type="checkbox"/> Rezone – Site Specific Zoning Map Amendment</p> <p><input type="checkbox"/> Secure Community Transition Facility</p> <p><input type="checkbox"/> Type IV Other: _____</p>	<p>TYPE V – Quasi-judicial</p> <p><input type="checkbox"/> Final Plats</p> <p><input type="checkbox"/> Plat Alterations</p> <p><input type="checkbox"/> Plat Vacations</p> <p><input type="checkbox"/> Right-of-Way Vacations</p> <p><input type="checkbox"/> Type V Other: _____</p>	<p>TYPE VI – Legislative</p> <p><input type="checkbox"/> Comprehensive Plan Amendment, Map and Text</p> <p><input type="checkbox"/> Development Agreements</p> <p><input type="checkbox"/> Land Use Code Amendments</p> <p><input type="checkbox"/> Rezones – Area Wide Zoning Map Amendments</p> <p><input type="checkbox"/> Type VI Other: _____</p>
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ARE ANY LOWER LEVEL PERMITS REQUIRED? Yes No Describe: _____

Property Information	Site Address: 1621 83rd Ave SE & 1615 83rd Ave SE, Lake Stevens, WA 98258			
	Assessor Parcel No: 290524-00300-600,500	Area of property	Square Feet: 217,800+/-	Acres: 5.00 +/-
	Land Use Designation: Med Density Residential (MDR)		Zoning: Urban Residential (UR) rezone to HUR	
	Number of Buildings on Site/: 4		Number to be Retained: 0	
	Existing Impervious Surface Area: 5,100		Proposed Impervious Surface Area: 130,000	
Applicant	Name/Company: Tim Kaintz, member / JM1 Holdings, LLC			
	Address: 10515 20th St SE #100		City/State/Zip: Lake Stevens, WA 98258	
	Phone: 425-359-4487		Applicants relationship to owner: Contract Purchaser	
	Fax:		Email: kaintztk@msn.com	
Primary Contact	Name/Company: Bob Nehring / Sound Design Engineering			
	Address: 10515 20th St SE #125		City/State/Zip: Lake Stevens, WA 98258	
	Phone: 425-773-9567		Email: bob.sdeng@gmail.com	
	Fax:			

Property Owner	Name/Company: Skyline Properties Management, LLC				
	Address: 10829 39th Dr SE		City/State/Zip: Lake Stevens, WA 98258		
	Phone:		Email:		
	Fax:				
Project Description	Grading Quantities		Cut:		Fill:
	Proposed project/land use (attach additional sheets if necessary):				
	Applicant proposes 34 single family lots				
Building Information	Gross Floor Area of Existing and Proposed Buildings: 2,968 sq ft (6 bldgs), 34 homes proposed				
	Bldg 1:	Bldg: 2	Bldg 3:	Bldg 4:	Bldg 5:
	Gross Floor Area by Use of Buildings (please describe use as well as floor area):				
	Use 1: Single Family - 2,064 Total sq ft: 1,296 sq ft (north lot), 768 sq ft (south lot)				
	Use 2: Outbuildings- 904 sq ft Total: (1 bldg) 228 sq ft (north lot) (3) 676 sq ft total (south lot)				
	Use3:				
	Use4:				

You may not begin any activity based on this application until a decision, including the resolution of any appeal, has been made. Conditions or restrictions may be placed on your permit if it is approved. After the City has acted on your application, you will receive notice of the outcome. If an appeal is filed, you may not begin any work until the appeal is settled. You may also need approvals from other agencies; please check this before beginning any activity.

This application expires 180 days after the last date that additional information is requested (LSMC 14316A.245)

If you suspect that your site contains a stream or wetland or is adjacent to a lake, you may need a permit from the state or federal government.

I DECLARE UNDER PENALTY OF THE PERJURY LAWS THAT THE INFORMATION I HAVE PROVIDED ON THIS APPLICATION IS TRUE, CORRECT AND COMPLETE.

 Signature of Property Owner/Agent

12-1-16

 Date of Application

By affixing my signature I certify that I am the legal owner of the property for which this application is issued or an authorized agent of the owner.



To be completed by staff

Date of Application: _____

Staff Initials: _____

Permit Number: _____

STATEMENT OF OWNERSHIP/APPLICANT AUTHORITY

I certify or declare under penalty of perjury under the laws of the state of Washington that:

1. This application is authorized by the all the land owners with authority to bind the land/property;
2. That the developer is operating under the landowner's authority;
3. That the developer and/or landowner is either an individual or a duly formed and qualified corporation, partnership, or other legal entity; and
4. That the person signing all applications or other legal documents is authorized by the legal entity and/or landowner to do so; and
5. That the application and submittals are true and correct to the best of my information.

Applicant

Signature: 

Name: Tim Kaintz, member, JM1 Holdings LCC

Address: PO BOX 610
Lake Stevens WA 98258

Phone: 425.359.4487

Email address: Kaintztk@msn.com

Property Owner(s)

Signature: 

Name: Terry Klett, member, Skyline Prop Mgmt

Address: 10829 39th Dr SE
Everett, WA 98208

Phone: _____

Email address: _____

Signature: _____

Name: _____

Address: _____

Phone: _____

Email address: _____

NOTE ON ENTERING PROPERTY

The City of Lake Stevens may enter onto the property, which is the subject of this application during the hours of 7:00 a.m. to 5:00 p.m., Monday – Friday, for the sole purpose of inspecting the limited area of the property, which is necessary to process this application. In the event the City determines that such an inspection is necessary during a different time or day, the City employees or agents will contact applicant verbally or in writing at least 24 hours before entering.

LEGAL DESCRIPTION

PARCEL A

South half of the North half of the Northwest quarter of the Southwest quarter of the Southwest quarter of Section 24, Township 29, Range 5 East, WM,

EXCEPT West 30 feet for road and TOGETHER WITH that portion of the South half of the Northwest quarter of the Southwest quarter of the Southwest quarter of Section 24, Township 29 North, Range 5 East, WM, Snohomish County, Washington, lying North of the line described as follows;

Commencing at the Northwest corner of said subdivision, thence South 89° 44' 00" East along the North line thereof 96.50 feet to the point of beginning at an existing fence, thence South 89° 20' 13" East along existing fence lines 549.17 feet to the East line of said subdivision at a point 3.8 feet South of the Northeast corner thereof

PARCEL B

The North half of the North half of the Northwest quarter of Southwest quarter of the Southwest quarter of Section 24, Township 20 North, Range 5 East, WM

EXCEPT the West 30 feet for road

SUBJECT TO AND TOGETHER WITH covenants, conditions, restrictions, reservations, rights and easements of record

Tax Parcel Nos 290524-003-005-00 and 290524-003-006-00



December 15, 2016

City of Lake Stevens
Planning & Community Development
1812 Main Street
P.O. Box 257
Lake Stevens, WA 98258

Project Name / File No.: Lyons Gate II / LUA2016-0191
Applicant: Tim Kaintz
Project Description: Type IV Review Site Specific Rezone
Tax Parcel No: 29052400300600 & 29052400300500
Site Address: 1615 & 1621 83rd Ave. NE Lake Stevens
Re: Information in Support of Request for Zoning Map Amendment

Dear Ms. Place:

The purpose of this letter is to provide the City of Lake Stevens with information in support of the Applicant's request for a Zoning Map Amendment of the property identified under the File No. and Project Description referenced above.

The Applicant is proposing a Zoning Map Amendment for two (2) parcels located in the 20th Street SE Corridor Subarea Plan. The Zoning Map Amendment requested is to change the zoning on two (2) parcels from Urban Residential (UR) to High Urban Residential (HUR). The requested Zoning Map Amendment would result in lot sizes being changed from a minimum of 7,500 sq. ft. to 3,600 sq. ft.

In addition to the Type IV Application for Site Specific Rezone, the Applicant has submitted a Type III Quasi-Judicial Hearing Examiner Decision Land Use Application under LUA 2016-0190 (Lyons Gate II). Following the approval of the Zoning Map Amendment, the Applicant will complete the processing of a subdivision pursuant to LSMC14.40 and 14.38.

The information being provided is to demonstrate that the request for Zoning Map Amendment from Urban Residential (UR) to High Urban Residential (HUR) is supportable under the Lake Stevens Municipal Code (LSMC).

GENERAL PROPERTY INFORMATION

1. Date of Application: December 2, 2016
2. Project Name: Lyons Gate II, Site-Specific Rezone
3. Project Location: 1615 and 1621 83rd Ave SE, Lake Stevens, WA 98258
4. Tax Parcel Number: 290524-00300-600 and 290524-00300-500

5. Total Parcel Size: 4.7 acres (204,732 square feet)
6. Property Owner: Skyline Property Management, LLC, Terry Klett, Member
7. Applicant: JM1 Holdings, LLC
8. Contact: Mr. Patrick McCourt of Land Pro Group, Inc.

PROJECT DESCRIPTION AND REQUEST

The Applicant, JM1 Holdings, LLC has applied for a site-specific Zoning Map Amendment pursuant to Lake Stevens Municipal Code (LSMC) 14.16C.090(b)(1) for two (2) parcels totaling approximately 4.7 acres in the Urban Residential (UR) zoning district, located at 1615 and 1621 83rd Ave SE, Lake Stevens, WA 98258 (**Exhibit 1**).

The subject property is located within the boundaries of the 20th Street SE Corridor Subarea Plan area. The Applicant requests that the zoning map be amended to change the zoning from the Urban Residential (UR) zoning district to the High Urban Residential (HUR) zoning district.

No change is proposed to the underlying Medium Density Residential comprehensive plan land use designation.

A Type III application for a 34 lot plat (LUA2016-0190) designed under the HUR zoning designation has been submitted along with the Type IV application for a site-specific rezone (LUA2016-0191).

The primary contact for the project, Patrick McCourt, has submitted a Project Narrative, a Traffic Study Memorandum, a Geotechnical Report and a Critical Area Study and Buffer Mitigation Plan in support of the proposed rezone.

The Applicant acknowledges that site-specific Zoning Map Amendment applications are Type IV permits subject to a public hearing and hearing examiner recommendation prior to a public hearing with City Council per Chapter 14.16A - Table 14.16A-I.

Per LSMC 14.16A.220(g), the rezone and subdivision applications may be reviewed concurrently; however, the rezone application must be acted on by the Hearing Examiner and the City Council prior to the final processing of the plat application.

PROPERTY DEVELOPMENT – ENVIRONMENTAL, TRAFFIC AND CONSTRUCTION CONSIDERATIONS

Environmental: The wetland report prepared by Wetland Resources, Inc., submitted by the Applicant (**Exhibit 4**) confirms the presence of a Category III wetland in the NE corner of the combined parcels. This wetland will be avoided entirely. The proposed plat incorporates buffers between the edge of the delineated wetland and the development.

Traffic and Infrastructure: The Applicant has submitted a traffic impact memorandum for staff review (**Exhibit 6**). The approval of the proposed rezone will result in 115 more average daily trips and 12 PM peak-hour trips than what would result from a subdivision of the property with the current Urban Residential zoning.

The preliminary subdivision application (LUA2016-0190) will be subject to the criteria of Chapter 58.17 of the RCW's, which requires provisions for safe access to schools, parks, recreation and playgrounds via sidewalks and streets. Full frontage improvements (curbs, gutters, planters and sidewalks) shall be constructed on all adjacent right-of-way's and on any new roads dedicated to the City as part of final subdivision approval pursuant to Chapter 14.56 LSMC. Pursuant to LSMC 14.112.010, the City shall implement the Capital Facilities element of the Lake Stevens Comprehensive Plan and GMA by collecting traffic impact fees to further ensure that adequate public street system facilities are available to serve traffic from any new development.

Construction Plans: Prior to construction plan approval for any potential development, the Applicant shall submit full construction plans from a licensed surveyor and stamped by a professional engineer. The construction plans shall include the following elements:

- A. A drainage and stormwater plan meeting the requirements of the currently adopted Department of Ecology (DOE) Stormwater Manual;
- B. A Stormwater Pollution Prevention Plan (SWPPP) that shows the type and location of all temporary erosion and sedimentation control (TESC) and demonstrates best management practices (BMP's);
- C. A road and transportation plan complying with the provisions of the City's Engineering Design and Development Standards (EDDS) and Title 14.
- D. Water and Sewer plans for review and approval by the Utility provider.

SURROUNDING PROPERTIES

The properties directly North and East and are zoned Urban Residential, and are currently use as a mobile home park. The property to the South is zoned Urban Residential and currently is developed into a 13 lot plat known as Heath's Back Acres. The property to the West is zoned High Urban Residential (HUR). The Applicant under this request has also applied to the City to subdivide the property located West of the subject property. That application is being processed under LUA2016-0174 which is identified as Lyons Gate I.

The properties to the North, South and East are in the Urban Residential (UR) zoning district and are identified by the Medium Density Residential comprehensive land use designation. The property to the West is in the High Urban zoning district and is identified by the High Density Residential comprehensive land use designation.

The project site is characterized by very little grade with one (1) identified wetland in the Northeast corner. Future access to the site would be via a new road connected to 83rd Ave. SE and connection to 17th St. SE. (**Exhibit 3**). The property directly West of the requested rezone is in the High Urban Residential zoning district which is identified as Lyons Gate I. The connectivity between Lyons Gate I and the proposal for Lyons Gate II have been coordinated in a manner that the new streets for Lyons Gate I and Lyons Gate II will be aligned to create a four (4) way intersection with 83rd Ave SE.

OFFICIAL ZONING MAP AMENDMENTS

The Applicant has recited 14.16C.090 Rezones-Official Zoning Map Amendments and then provided response information for each to demonstrate that it has met the criteria for a Zoning Map Amendment as set forth below.

14.16C.090 Rezones - Official Zoning Map Amendments.

(g) Decision Criteria. The following factors are to be taken into account by the Planning Commission, Hearing Examiner and the City Council when considering a map amendment:

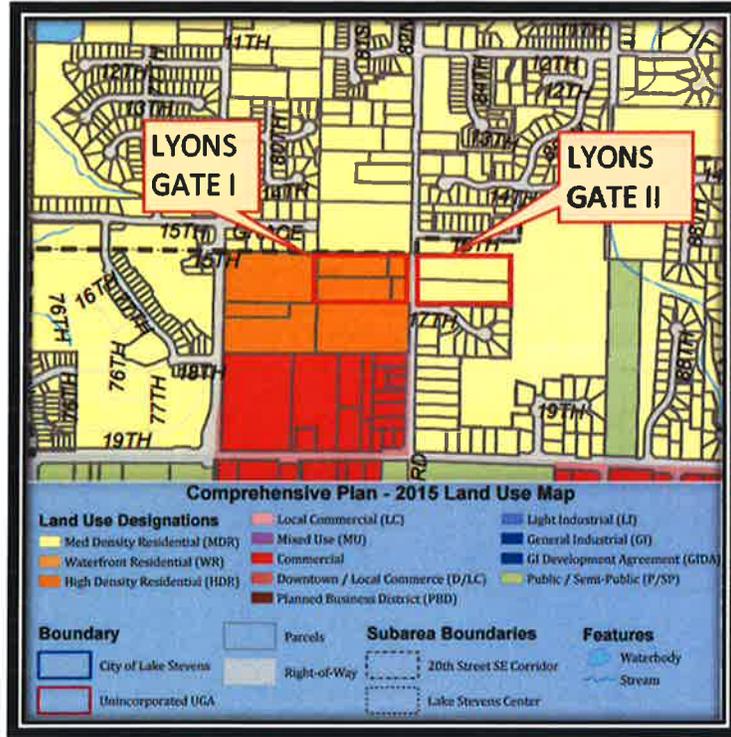
(1) The amendment complies with the Comprehensive Plan Land Use Map, policies, and provisions and adopted subarea plans.

The existing and proposed comprehensive plan designations and zoning districts for the subject property and the surrounding properties are identified in the following table. Pursuant to the thresholds for a site-specific Zoning Map Amendment as defined by LSMC 14.16C.090(b)(1), the proposed rezone will conform to the currently adopted Comprehensive Plan Land Use Designation.

AREA	LAND USE	ZONING	EXISTING USE
Project Site	Medium Density Residential	Urban Residential	Undeveloped
North	Medium Density Residential	Urban Residential	Mobile home Residences
South	Medium Density Residential	Urban Residential	Single Family Residence
East	Medium Density Residential	Urban Residential	Mobile home Residences
West	High Density Residential	High Urban Residential	Undeveloped

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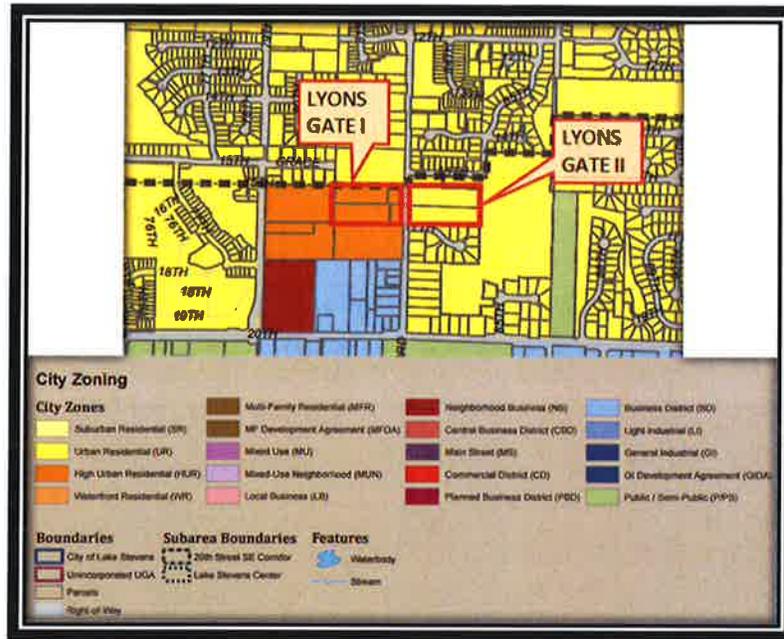
COMPREHENSIVE PLAN - 2015 LAND USE MAP



The Current Comprehensive Land Use Map designates the subject property as Medium Density Residential (MDR).

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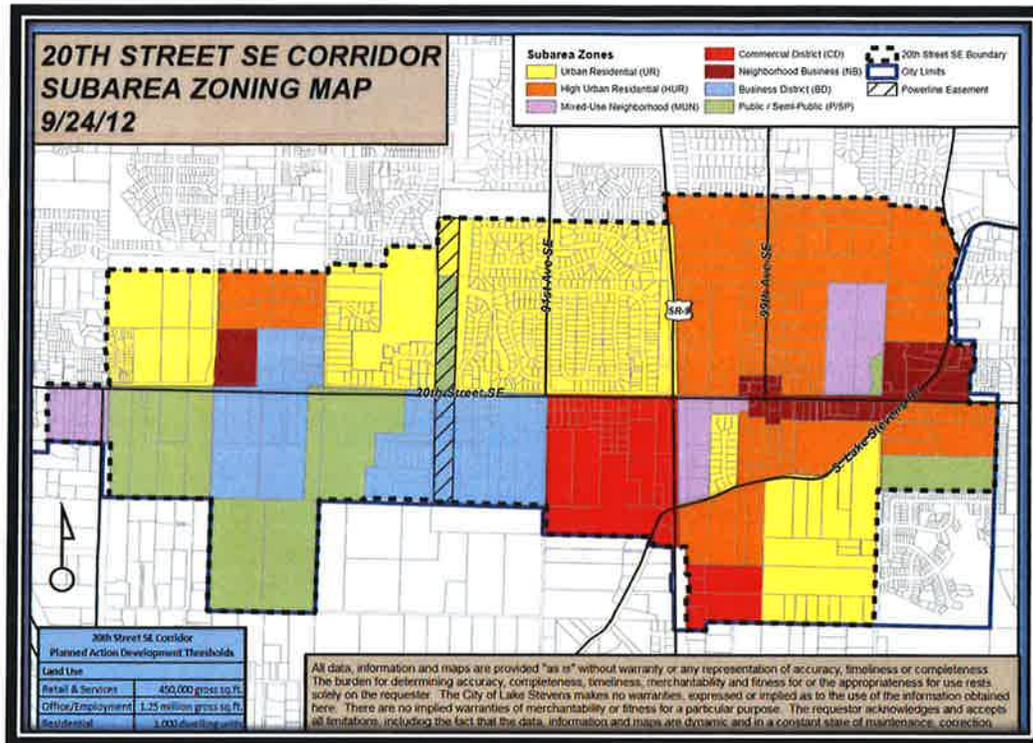
ZONING MAP



The Current Zoning map designates the property as Urban Residential (UR).

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The subject property is within the defined 20th Street SE Corridor Subarea Plan. The adopted 20th St. SE Corridor Subarea Zoning Map establishes a UR zone for the subject property.



Upon approval of the Zoning Map Amendment change from the Urban Residential (UR) zoning district to the High Urban Residential (HUR) zoning district, the subject property will be subject to the regulations for the High Urban Residential zone per LSMC Chapter 14.38 which contains the applicable development regulations for the High Urban Residential zone.

LSMC Chapters 14.36.010 (a) and (d) establishes the following objectives for the City’s residential zones in general, and provides further detail on the purpose of both the UR and HUR zoning districts:

(a) The following residential districts are hereby established: Suburban Residential, Urban Residential, High Urban Residential, Waterfront Residential, and Multi-Family Residential. Each of these districts is designed and intended to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in nonresidential districts. Other objectives of some of these districts are explained in the remainder of this section.

(d) The High Urban Residential (HUR-12) district is designed to accommodate single-family detached or attached residential uses at medium densities in areas served by public water and sewer facilities. Some types of two-family residences are allowed in these districts on larger lots.

Pursuant to the thresholds for a site-specific Zoning Map Amendment as defined by LSMC 14.16C.090(b)(1), the proposed Zoning Map Amendment is compatible with the adopted Comprehensive Plan land use designation and the 20th Street SE Corridor Subarea Plan. As

proposed, the subject property would require a Zoning Map Amendment from the Urban Residential zoning district to the High Urban Residential zoning district to achieve 34 residential lots vs. 22. Rezones are governed by LSMC 14.16C.090. Per that Chapter, the proposal would constitute a minor site-specific rezone. Per LSMC 14.36.200, the HUR zoning district is compatible with the MDR land use designation and therefore follows the Comprehensive Plan. (see Table 14.36.200 below)

Part III. Compatibility of Zoning Districts with Land Use Plan

14.36.200 Compatibility of Zoning Districts with Land Use Plan Defined.

Table 14.36-I defines which zoning districts are compatible with which land use designations of the Land Use Plan of the Comprehensive Plan. Only those zones defined as compatible with a given land use designation may be applied to that land use designation when a rezone is considered.

Table 14.36-I: Land Use Designation/Zone Compatibility Matrix

Zone	Comprehensive Plan Land Use Designation*												
	LDR	MDR	HDR	WR	D/LC	SRC	COM	MU	PBD	LI	GI	GIDA	P/SP
Suburban Residential		X											
Waterfront Residential		X		X									
Urban Residential		X					X						
High Urban Residential		X	X				X						
Multi-Family Residential			X										
Neighborhood Commercial	X	X	X										

DEVELOPMENT INTENSITY

As set forth in LSMC Table 14.48-1 lots in the Urban Residential (UR) zoning district, the minimum lot size in the UR zone is established at 7,500 sq. ft. The current UR zone of the subject parcels would be allowed a gross density of 27 lots ($4.7 \times 43,560 = 204,732/7500 = 27$ lots).

Applying the HUR minimum lot size of 3,600 square feet would result in a gross density of 56 lots ($4.7 \times 43,560 = 204,732/3,600 = 56$ lots).

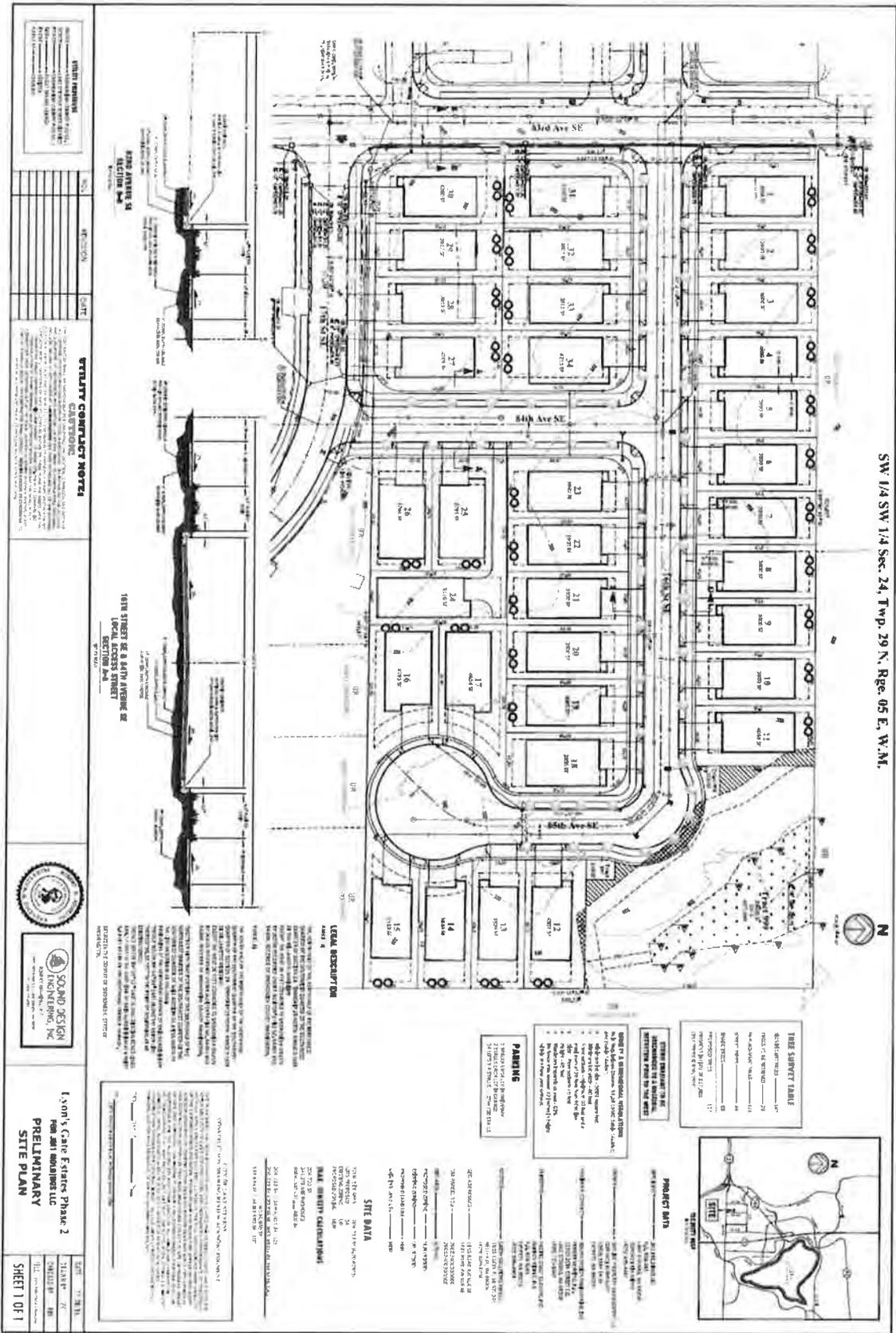
Table 14.48-1: Density and Dimensional Standards

Zone	Minimum Lot Size		Minimum Residential Densities (Minimum Square Feet per Dwelling Unit)	Minimum Lot Width (ft.)	Building Setback Requirements Mini			
	Standard Subdivision	Cluster Subdivision			Nonarterial Street Right-of-Way Line		Nonarterial Street Centerline ¹	
					Building	Freestanding Sign	Building	Freestanding Sign
Waterfront Residential	9,600 ft ²	7,500 ft ²	9,600 ft ²	50	25	12.5	55	42.5
Suburban Residential ²	5 acres/ 9,600 ft ²	5 acres/ 7,500 ft ²	5 acres/ 9,600 ft ²	80	25	12.5	55	42.5
Urban Residential ²	5 acres/ 7,500 ft ²	6,000 ft ²	7,500 ft ²	60	20	10	50	40
High Urban Residential	3,600 ft ²	N/A	3,600 ft ²	40	15	5	45	35

The gross density of lots calculated using the table set forth in LSMC 14.48-1 table (see above) are not feasible due to the presence of critical areas and the requirements for buffers. Based upon design layouts, the number of lots that could be developed under the current UR zone would be 22 and under the HUR zone the number of lots that could be developed would be 34.

The approval of the Zoning Map Amendment would permit the Applicant to create approximately 34 single family lots utilizing the HUR Density and Dimensional standards set forth in LSMC 14.48-1.

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SW 1/4 SW 1/4 Sec. 24, Twp. 29 N., Rge. 05 E., W. M.

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL REPAIR OR REPLACE ANY UTILITIES DAMAGED DURING CONSTRUCTION.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

UTILITY CONFLICT NOTATION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND RESOLVING ALL UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL UTILITY CONFLICTS AND RESOLUTIONS.

3. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

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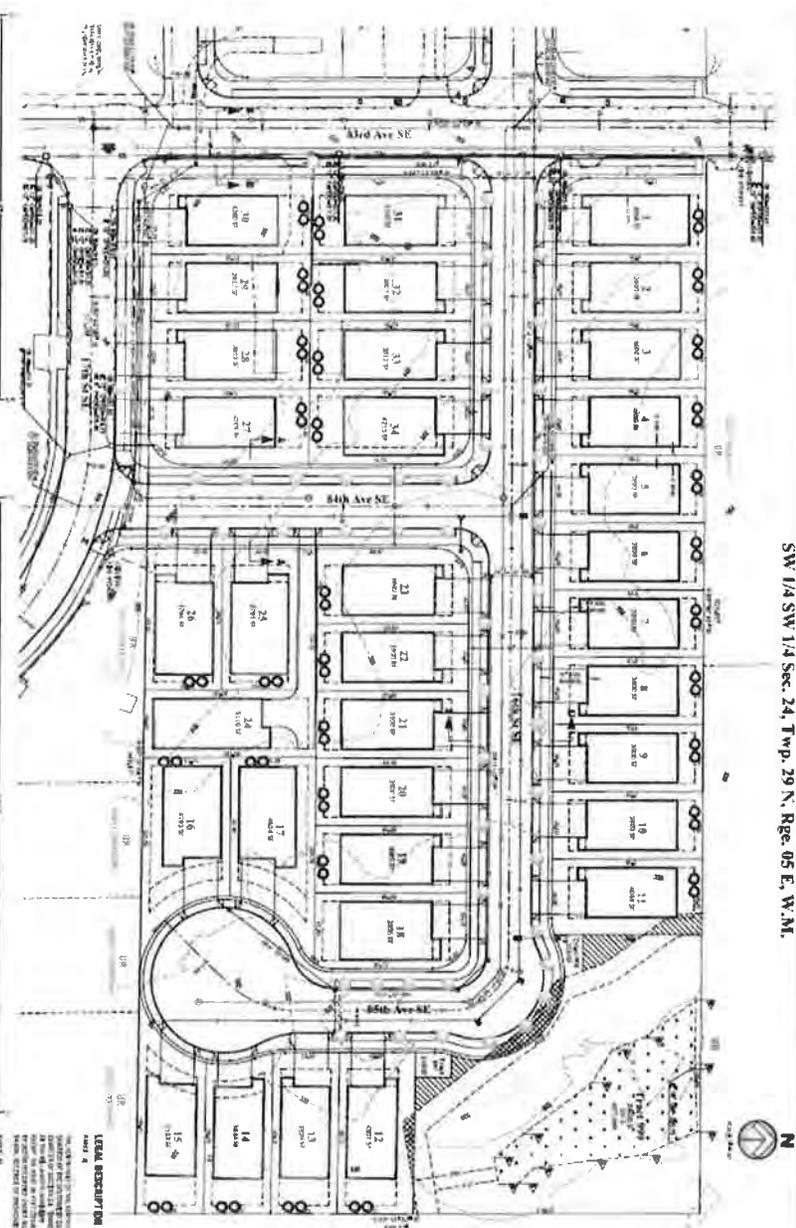
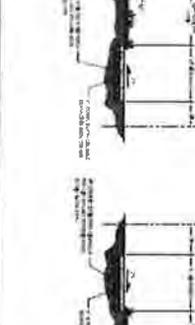
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LEGAL DESCRIPTION

SW 1/4 SW 1/4 Sec. 24, Twp. 29 N., Rge. 05 E., W. M.

SITE DATA

DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

THE SURVEY TABLE

DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

PROJECT DATA

DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

PARKING

DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

UTILITY CONFLICT NOTATION

DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

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 SHEET: 1 OF 1

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DATE: 04/11/2017
 TIME: 10:00 AM
 PROJECT: LISON'S GATE ESTATES PHASE 2
 SHEET: 1 OF 1

(2) The amendment is in compliance with the Growth Management Act;

The GMA requires certain cities and counties to engage in a planning process. RCW 36.70A.040. Thirteen exclusive goals guide that process. RCW36.70A.20. These goals concern urban growth sprawl reduction, transportation, housing, economic development, property rights, permitting, natural resource industries, open space and recreation, the environment, citizen participation and coordination, public facilities and services, and historic preservation. RCW36.70A.020. The City has adopted its Comprehensive Plan using the 13 exclusive goals as a guide. These exclusive goals provide the City the ability to meet the goals using its local zoning code and amendments thereto. In the subject case, the City would be advancing the goals.

The Applicant's position is that the rezone is categorically exempt from review under the State Environmental Protection Act (SEPA), Chapter 43.21C Revised Code of Washington (RCW). Under Washington Administrative Code (WAC) 197-11-800(6)(c)(ii), the rezone proposal is exempt from environmental review because the project site is in an urban growth area, the rezone does not require an amendment to the City's Comprehensive Plan and the Comprehensive Plan was previously subject to environmental review.

The property is within the boundaries of the 20th Street SE Corridor Subarea Plan. The City of Lake Stevens adopted the Subarea Plan following the completion of an Environmental Impact Statement (EIS). The Applicant has prepared and submitted a SEPA Checklist and Planned Action Determination as required by the Subarea Plan.

(3) The amendment serves to advance the public health, safety and welfare;

The HUR zoning district is "designed and intended to provide the residents with a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities that properly belong in nonresidential districts." *LSMC 14.36.010(a)*. The UR and HUR zoning districts "are designed primarily to accommodate single-family detached residential uses at medium densities in areas served by public water and sewer facilities. Some types of two-family residences are allowed in these districts on larger lots." *LSMC 14.36.010(d)*.

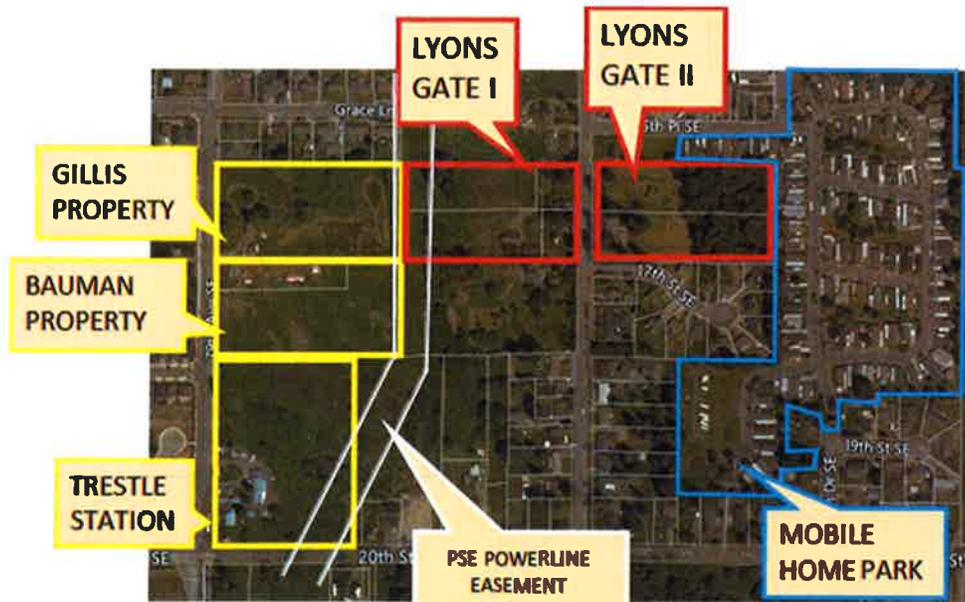
The proposed rezone advances identified goals and policies of the Comprehensive Plan Housing Element. At the time of development, any application will need to meet State and Local regulations in effect and ensure concurrency standards are met.

The amendment will advance the public health safety and welfare of the public as it adds roads and sidewalks, utility connections and construction for housing in advancement of the Housing Element Goals and Policies of its Comprehensive Plan and 20th Street Subarea Plan.

(4) The amendment is warranted because of changed circumstances, a mistake, or because of a need for additional property in the proposed zoning district;

Pending applications of other properties designated with the HUR zoning, which are in the immediate area of the subject property, reflect densities less than that allowed. The reduced densities are the result of critical areas, buffers and main power transmission lines. A Zoning Map Amendment for the subject property would replace residential units lost due to critical areas, buffers and main power transmission lines.

For ease of reference, please refer to the aerial map below to locate properties described hereafter.



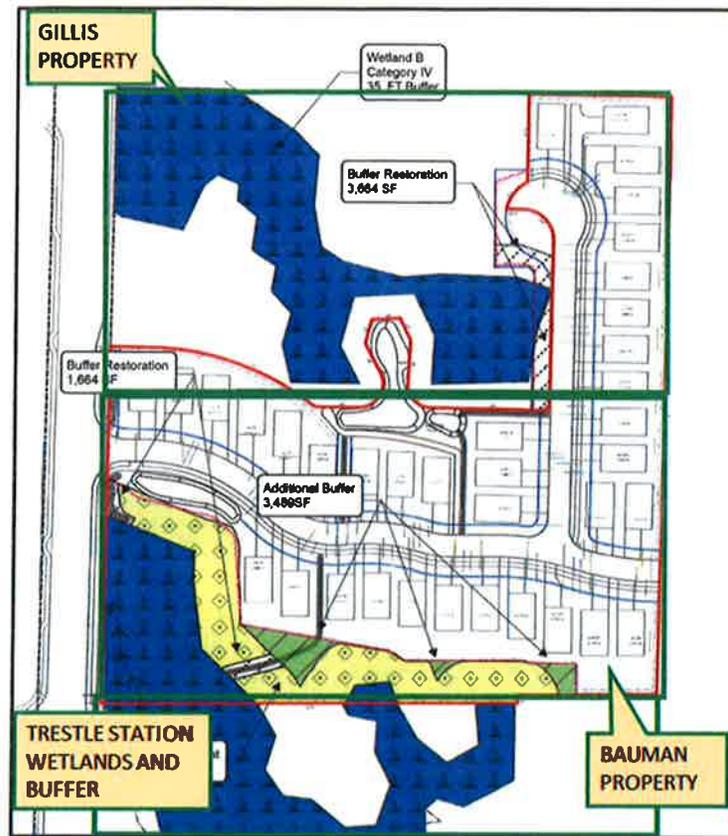
Lyons Gate I has a pending application (LUA 2016-0174) for 35 single family lots. This property is zoned HUR. Due to the location of the PSE power line, the Applicant was not able to utilize the area beneath the power line for residential lots resulting in a loss of two (2) lots.

The map above identifies two (2) other proposed developments adjacent to Lyons Gate I. These properties are the Bauman property and the Gillis property.

An application has been submitted to the City of Lake Stevens for the development of these two (2) properties identified in public records as Fairview Terrace (LUA 2016-0005). These two (2) properties are zoned HUR.

Research of public records identified a proposal for 36 +/- residential lots. The map below was obtained from public records. The map is an excerpt from the Critical Areas Study prepared by Wetland Solutions dated January 22, 2016. The property lines have been added and highlighted to demonstrate approximate respective property lines of the properties being discussed. The Trestle Station wetlands have been identified to demonstrate the impact. Under the HUR zone, these two (2) properties have a minimum lot size of 3,600 sq. ft. The total area of the combined properties is approximately ten (10) acres. The allowed gross density for these properties is approximately 121 lots.

$10 \text{ acres} \times 43,560 = 435,600 / 3,600 = 121 \text{ units}$. Assuming a gross density of 121 units vs the 36 units proposed, 85+/- units have been lost due to critical areas and required buffers.



FAIRVIEW TERRACE CRITICAL AREA SITE PLAN

(NOTE: PROPERTY LINES HAVE BEEN DRAWN IN FOR ILLUSTRATIVE PURPOSES ONLY)

Trestle Station was constructed on the property to the South of the proposed Fairview Terrace, HUR zoned properties. A large critical area was identified on the northern portion of the Trestle Station development which is now designated as Native Growth Protection Area. This critical area extends into the Bauman property as shown in the site plan above. It should be noted that the Trestle Station site contained approximately 6.1 acres of which over four (4) acres +/- was designated as critical area.

The map above also depicts the approximate location of the 100 foot wide Puget Sound Energy (PSE) easement. No residential structures can be constructed under the power line easement, further impacting the number of dwelling units that could have been developed in this HUR zone.

Finally, the property to the East is a mobile home park.

The rezone to HUR is compatible with the higher density of the mobile home park to the East.

As demonstrated in the table below, the HUR zoned property North of Trestle Station between 79th Ave NE and 83rd Ave NE contains approximately 20 acres. The gross density of the 20 acres with the HUR zone is estimated to be 242 units. ($20 \times 43,560 = 871,200 / 3,600 = 242$)

Pending land use applications for Fairview Terrace and Lyons Gate I are for approximately 71 units. Assuming the remaining five (5) acres were to be developed in a like fashion one could assume that the 20 acres of HUR would be developed with approximately 105 to 110 units. The impact of wetlands,

buffers and power lines reflect a potential loss of approximately 137 to 142 units.

Approval of the Applicant's request for a Zoning Map Amendment of the Lyons Gate II property from UR to HUR would result in the recovery of 12 units of the estimated 105 to 110 units which have or will be lost.

The City of Lake Stevens 2015-2035 Comprehensive Plan, Chapter 3 Housing Element provides excellent information regarding the total affordable housing unit needs and strategies to meet these needs. The City has adopted a variety of zones including High Density Residential and mixed-use to increase development efficiency.

Land use strategies to meet the affordable housing needs include up-zoning which is cited below:

- "Upzoning: One of the most direct methods to reduce per unit land costs is upzoning properties and reducing minimum lot sizes to allow uses with greater density. Before upzoning properties, the city should consider compatibility with existing residences, availability or planned expansion of utilities, service providers and infrastructure and long-range population forecasts."

The Zoning Map is further supported by the goals and polices of the Housing Elements cited as follows:

GOALS AND POLICIES

- "GOAL 3.1 PROVIDE FAIR AND EQUAL ACCESS TO A RANGE OF HOUSING TYPES AND CHOICES TO MEET THE EXISTING AND PROJECTED HOUSING NEEDS OF ALL LAKE STEVENS RESIDENTS REGARDLESS OF INCOME LEVEL OR DEMOGRAPHIC STATUS."

Policies

- 3.1.1 Zone sufficient buildable lands to accommodate various types and densities of housing including single-family, manufactured housing, multifamily, mixed-use and accessory dwellings equitably and rationally distributed throughout the city."

(5) The subject property is suitable for development in general conformance with zoning standards under the proposed zoning district;

The application meets the requirements of LSMC 14.16C.090(g). Assuming the requested Zoning Map Amendment is approved and the Applicant proceeds with subdividing the land, the proposal would have to comply with all the plat requirements of Chapter 58.17 RCW and LSMC Title 14, including stormwater requirements, requirements to provide safe walking routes for school children, set tree retention requirements, critical areas requirements, and requirements for construction plan approval. The rezone would satisfy Policy 3.1.1 of the City's Comprehensive Plan by increasing residential density in the urban growth area and would provide planned densities of housing.

(6) The amendment will not be materially detrimental to uses or property in the immediate vicinity of the subject property;

The application for the development of 34 single family lots would be consistent with density proposed in Lyons Gate I to the West. The property to the North and East is a mobile home park. The property to the South is a 13 lot development with single family homes. The proposed development of 34 single

family homes would be generally compatible with the surrounding homes and other residential neighborhoods in the area.

(7) Adequate public facilities and services are likely to be available to serve the development allowed by the proposed zone;

All public utilities and services are available to the subject parcels. The utilities and services along with the provider are identified in the table below.

Water:	Snohomish County PUD	Gas:	Puget Sound Energy
Sewer:	Lake Stevens Sewer District	Cable TV:	Comcast
Garbage:	Allied Waste/Waste Management	Police:	City of Lake Stevens
Storm Water:	City of Lake Stevens	Fire:	Lake Stevens Fire District
Telephone:	Verizon	School:	Lake Stevens School Dist.
Electricity:	Snohomish County PUD	Hospital:	Providence Hospital

(8) The probable adverse environmental impacts of the types of development allowed by the proposed zone can be mitigated, taking into account all applicable regulations, or the unmitigated impacts are acceptable;

The development will be designed and constructed to protect the identified critical areas on site per LSMC 14.88.

The development will be responsible for the payment of impact mitigation fees for schools, traffic and parks. The purpose of these fees are as cited in LSMC Title 14 as follows:

Chapter 14.100
SCHOOL IMPACT MITIGATION

14.100.010 Purposes.

The purposes of this chapter are:

- (1) To ensure that adequate school facilities are available to serve new growth and development; and
- (2) To require that new growth and development pay a proportionate share of the costs of new school facilities needed to serve new growth and development.

Chapter 14.112
TRAFFIC IMPACT MITIGATION FEES*

14.112.010 Purpose.

The purpose of this chapter is to implement the Capital Facilities Element of the Lake Stevens Comprehensive Plan and the Growth Management Act by:

(a) Ensuring adequate public street system facilities are available to serve traffic from new development.

(b) Ensuring adequate public streets are available to serve growth and maintain existing service levels for present businesses and residents.

(c) Establishing procedures whereby new development pays its proportionate share of the costs of street system capacity improvements, reducing transaction costs for both the City and developers, ensuring new developments do not pay arbitrary or duplicative fees. (Ord. 876, Sec. 6 (Exh. 4), 2012)

Chapter 14.120
PARK IMPACT MITIGATION FEES

The purpose of this chapter is to implement the capital facilities element of the Lake Stevens Comprehensive Plan and the Growth Management Act by:

(a) Ensuring adequate park, recreation, open space and trail facilities are available to serve new development.

(b) Maintaining the high quality of life in Lake Stevens by ensuring adequate facilities are available to serve growth and maintaining existing service levels for present businesses and residents.

(c) Establishing standards and procedures whereby new development pays its proportionate share of the costs of park, recreation, open space and trail facilities, thereby reducing transaction costs for both the City and developers and ensuring new developments are not required to pay arbitrary or duplicative fees. (Ord. 794, Sec. 1 (Exh. A), 2009)

Payment of the fees ensure that the development will pay its proportionate share of the impact of the development

The development will be processed and constructed in accordance with codes and regulations to ensure it mitigates impacts.

(9) The amendment complies with all other applicable criteria and standards in this title;

The requested site-specific minor zoning map amendment (LUA2016-0191) is consistent with the rezone criteria, permit processing procedures, the existing Comprehensive Land Use designation and all other applicable municipal code requirements.

(10) If the proposal is located within an adopted subarea plan:

(i) The rezone is to a zoning designation allowed within the applicable subarea;

Pursuant to the thresholds for a site-specific Zoning Map Amendment as defined by LSMC 14.16C.090(b)(1) the proposed Zoning Map Amendment is in compatible with the adopted Comprehensive Plan land use designation and the 20th Street SE Corridor Subarea Plan. As proposed, the subject property would require a Zoning Map Amendment from the Urban Residential zoning district to the High Urban Residential zoning district to achieve 34 residential lots vs. 22. Rezones are governed by LSMC 14.16C.090. Per that chapter, the proposal would constitute a minor site specific rezone. Per LSMC 14.36.200, the HUR zoning district is

compatible with the MDR land use designation and therefore follows the Comprehensive Plan. (see Table 14.36.200 below)

Part III. Compatibility of Zoning Districts with Land Use Plan

14.36.200 Compatibility of Zoning Districts with Land Use Plan Defined.

Table 14.36-I defines which zoning districts are compatible with which land use designations of the Land Use Plan of the Comprehensive Plan. Only those zones defined as compatible with a given land use designation may be applied to that land use designation when a rezone is considered.

Table 14.36-I: Land Use Designation/Zone Compatibility Matrix

Zone	Comprehensive Plan Land Use Designation*												
	LDR	MDR	HDR	WR	D/LC	SRC	COM	MU	PBD	LI	GI	GIDA	P/SP
Suburban Residential		X											
Waterfront Residential		X		X									
Urban Residential		X					X						
High Urban Residential		X	X				X						
Multi-Family Residential			X										
Neighborhood Commercial	X	X	X										

(ii) The rezone does not increase the established intensities adopted as part of the planned action ordinance or mitigates increased or additional impacts by supplementing, amending or addending the applicable planned action draft and final environmental impact statement.

The rezone does not increase the established intensities adopted as part of the planned action ordinance. The Applicant is avoiding critical areas in their entirety and providing critical area buffers per LSMC 14.88.

The Applicant will mitigate school, traffic and park impact by the payment of school impact fees in accordance with the requirements of LSMC Title 14.

The Applicant will comply with all City, State and Federal requirements for the development of the subject property.

CONCLUSION

The proposed Zoning Map Amendment satisfies the criteria for approval found in LSMC 14.16.090(g) and should be approved. The proposed rezone would not require an amendment of the City Comprehensive Plan and would be consistent with the Comprehensive Plan designation of the property. High Urban Residential zoning is allowed in property designated Medium Density Residential by the Comprehensive Plan. The proposed rezone would further the goals of the Comprehensive Plan Housing Element by providing for additional affordable housing

options in the City of Lake Stevens. Conditions placed on any future land development permits would ensure that the proposed subdivision would comply with the development regulations required by the Growth Management Act and Title 14 of the Lake Stevens Municipal Code. The proposed rezone would serve the public health, safety, and welfare by replacing a portion of the lost land inventory of code compliant affordable housing.

Changed circumstances, specifically the City's growth over the last several decades and need for denser development and lost land inventory for affordable housing, warrant the rezone. The property is suitable for single-family residential development that complies with the standards of the HUR zone, including lot size and dimension standards.

Although the proposed Zoning Map Amendment is categorically exempt from SEPA review, the Applicant has submitted an environmental checklist and an application for a Planned Action Determination.

The proposed Zoning Map Amendment would not add a significantly greater number of vehicle trips as compared to development of the property under its existing zoning designation and would not noticeably increase traffic delays at key intersections or affect concurrency in the relevant area as set forth in the Traffic Memorandum prepared by Gibson Traffic Consultants.

Adequate public facilities and services are available to the property.

The Applicant has demonstrated that its request for a Zoning Map Amendment is in compliance with the rezone criteria set forth in LSMC 14.16C.090.

A summary of the compliance with the Rezone criteria is set forth as follows:

- i. ***Rezones are either site-specific or area-wide. Map amendments are considered major if the rezone request is for five (5) or more tracts of land in separate ownership or any parcel of land, regardless of the number of lots or owners, in excess of 50 acres. All other map amendments are minor.***
 - The proposed rezone is for two (2) parcels totaling approximately 4.7 acres. The application is for a site-specific rezone and is a minor map amendment
- ii. ***The application is for a site-specific rezone and conforms to the Comprehensive Plan or an adopted subarea plan.***
 - The proposed rezone will conform to the current Comprehensive Plan land use designation of Medium Density Residential.
- iii. ***A site-specific rezone shall be reviewed in the manner and following the procedures established in Chapters 14.16A and 14.168 for a Type IV review.***
 - The Applicant has submitted a Type IV application (**Exhibit 1**) in compliance with LSMC 14.16C.090(c). The proposal shall be referred to the Hearing Examiner for a recommendation to City Council pursuant to LSMC 14.16C.090(e)(1).
- iv. ***Amendments to the Official Zoning Map may be initiated by the City Council, the***

Planning Commission, or the City Administration (2) Any other person may also petition the Planning Department to amend the Official Zoning Map. The petition shall be filed with the Department of Planning and Community Development and shall include: (i) The name, address, and phone number of the Applicant; (ii) A description of all land proposed to be rezoned including a map highlighting the specific parcels; and (iii) A rationale for the proposed map changes.

- The Applicant has submitted a Type IV application (**Exhibit 1**). The Project Narrative and Addendum to Project Narrative along with supporting documentation is in compliance with LSMC 14.16C.090(d).
- v. **No application shall be filed which on its face will not comply with the Lake Stevens Comprehensive Plan.**
- No change is proposed to the underlying Comprehensive Plan Land Use designation.
- vi. **No application without signatures of owners representing 75 percent of the area proposed for rezone shall be filed or accepted for filing.**
- Pursuant to current Snohomish County records, the property owner is Skyline Property Management, LLC, Terry Klett, Member. Mr. Klett's signature is present on the submitted Type IV application (**Exhibit 1**).
- vii. **If the Zoning Map is approved, the proposal will be consistent with Comprehensive Land Use Map designation of Medium Density Residential.**
- Pursuant to the thresholds for a site-specific Zoning Map Amendment as defined by LSMC 14.16C.090(b)(1), the proposed rezone will conform to the currently adopted Comprehensive Plan land use designation.
- viii. **The rezone is consistent with the Growth Management Act as the City can establish its local zoning and will meet public notice requirements.**
- The Comprehensive Plan identifies the land use as Medium Density Residential. HUR zoning is an allowed zone in MDR
- ix. **The proposed rezone advances identified goals and policies of the Comprehensive Plan Housing Element. At the time of development, any application will need to meet State and local regulations in effect and ensure concurrency standards are met.**
- The proposed rezone is in alignment with the goals and polices of the Housing Element of the Comprehensive Plan and the 20th Street Corridor Subarea Plan.
- x. **The amendment will advance the public health, safety and welfare of the public pursuant to added roads and sidewalks, utility connections and the construction of housing in advancement of the Housing Element Goals and Policies of the City's Comprehensive Plan.**

- The proposed development will protect critical areas, pay mitigation fees for schools, park and traffic and construction of development improvements will be done in accordance with regulations.
- xi. The site contains adequate area to develop and will be accessed via connections. At the time of development, any application will need to meet State and local regulations in effect and ensure concurrency standards are met.**
- The site contains adequate development area and access connectivity.

In addition to the items above, the proposed Zoning Map Amendment addresses the following:

1. The proposal will not be materially detrimental to adjacent land uses as conditioned.
2. As conditioned and in accordance with municipal standards, there will be adequate infrastructure to develop the site under the proposed zoning.
3. Environmental impacts can be mitigated.
4. The proposal complies with municipal standards for a rezone application.
5. The project is in a designated subarea which has been addressed above.
6. **Environmental Review and Critical Areas:**
 - a. The Zoning Map Amendment is exempt from SEPA review pursuant to LSMC Chapter 16.04 and WAC 197-11-800 (6)(c)(ii) because the Applicant does not propose an amendment to the City's Comprehensive Plan.
 - b. There is one (1) wetland identified on the site, a Category III wetland. Work near the identified critical areas and their buffers will be subject to the requirements of LSMC Chapter 14.88 at the time of development.
7. **Traffic Impacts:**
 - a. LSMC Chapter 14.112 establishes mitigation requirements for traffic impacts to Lake Stevens' roads from development.
 - b. The property is located in the Traffic Impact Zone 3 South Lake Stevens. The subject property will be subject to applicable traffic impact fees in effect at the time of development.
 - c. The Applicant has submitted a traffic study memorandum with the application. The traffic memorandum has been updated on December 13, 2016 (**Exhibit 6**). The conceptual future subdivision would generate approximately 305 average daily trips and 32 peak-hour trips. The Zoning Map Amendment from UR to HUR would increase the trip generation of Lyons Gate II by 115 average daily trips and 12 PM peak-hour trips. The 12 additional PM peak-hour trips represent an increase of 5% of PM

peak hour traffic on the roadway, based on recent PM peak hour count date. This increase is therefore not anticipated to create a significant impact on surrounding street systems.

We appreciate the opportunity to provide this addendum to the narrative setting forth additional information in support of our rezone proposal and look forward to discussing this matter with you further. Should you have additional comments or need anything further, please feel free to contact me at (425) 308-5101.

Respectfully,

JM1 HOLDINGS, LLC

By: Land Pro Group, Inc., Applicant's Representative

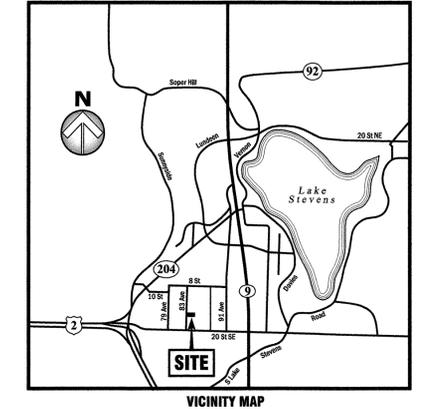
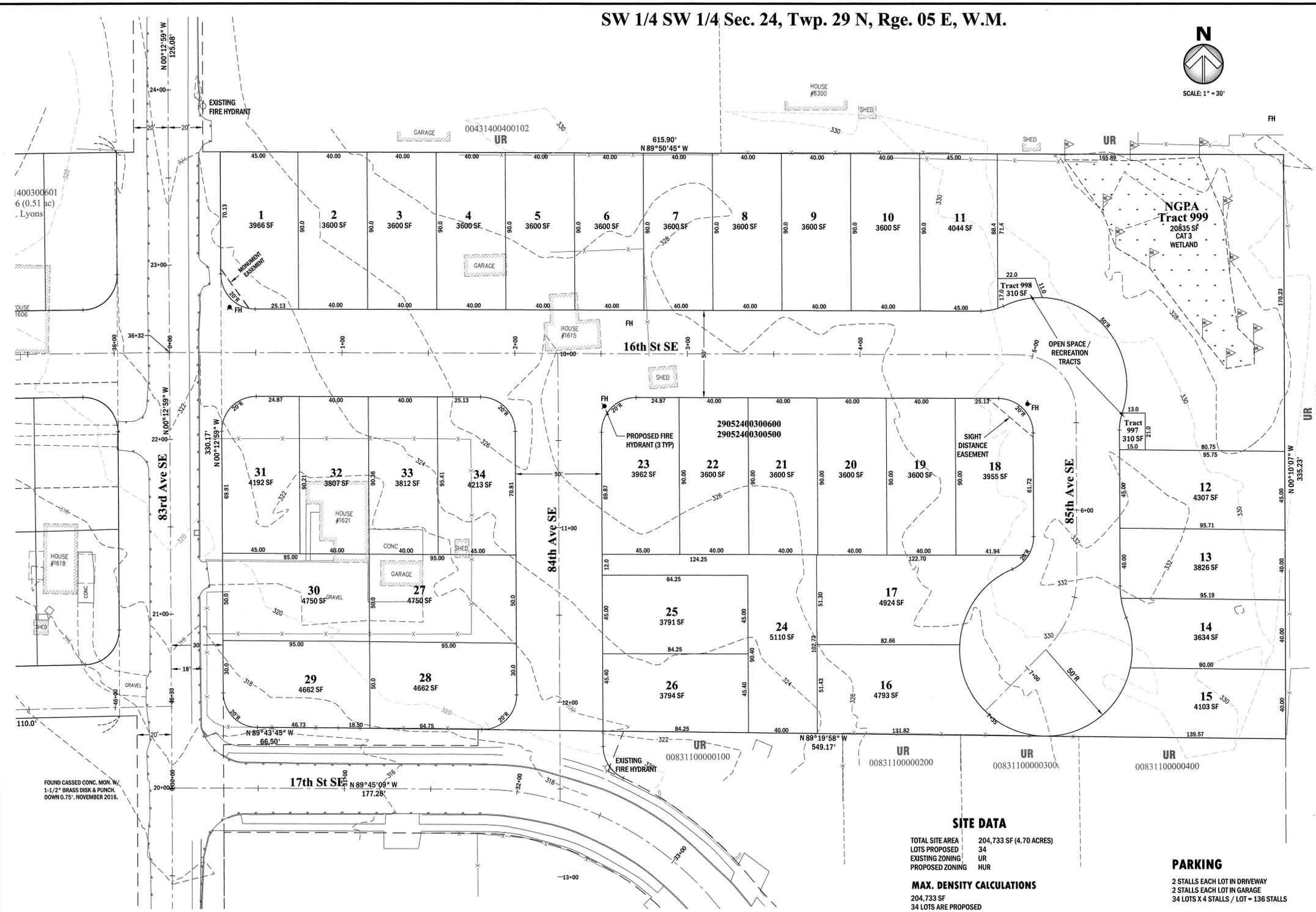


By: Patrick L. McCourt, CEO

EXHIBITS

1. Type IV Application dated December 1, 2016
2. Applicant Narrative dated December 2, 2016
3. Conceptual Preliminary Site Plan
4. Wetland Delineation Report dated December 7, 2016
5. Geotechnical Report prepared by Earth Solutions NW dated December 8, 2016
6. Gibson Traffic Consultants Traffic Study Memorandum dated December 13, 2016

SW 1/4 SW 1/4 Sec. 24, Twp. 29 N, Rge. 05 E, W.M.



VICINITY MAP
 NOT TO SCALE

PROJECT DATA

APPLICANT ----- JM1 HOLDINGS LLC
 P.O. BOX 610
 LAKE STEVENS, WA 98258
 CONTACT: TIM KAINIZ
 (425) 359-4487

OWNER ----- SKYLINE PROPERTY MANAGEMENT LLC
 CONTACT: TERRY KLETT
 10829 39TH DR SE
 EVERETT, WA 98208

ENGINEER/CONTACT ----- SOUND DESIGN ENGINEERING, INC
 ROBERT NEHRING, P.E.
 10515 20TH STREET S.E.
 LAKE STEVENS, WA 98258
 (425) 773-9567

SURVEYOR ----- PACIFIC COAST SURVEYS, INC
 DARREN RIDDLE, PLS
 P.O. BOX 3286
 EVERETT, WA 98213
 (425) 508-4951

GEOTECH ----- EARTH SOLUTIONS NW LLC
 1805 135TH PL NE STE 201
 BELLEVUE, WA 98005
 (425) 449-4704

SITE ADDRESSES ----- 1615 83RD AVENUE SE
 1621 83RD AVENUE SE

TAX PARCEL NO.s ----- 29052400300600
 29052400300500

SITE AREA ----- 4.70 AC

EXISTING ZONING ----- UR

PROPOSED ZONING ----- HDR

EXISTING LAND USE ----- MDR

PROPOSED LAND USE ----- HDR

LEGAL DESCRIPTION

PARCEL A:

THE NORTH HALF OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 29 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN;
 EXCEPT THE WEST 30 FEET CONVEYED TO SNOHOMISH COUNTY BY DEEDS RECORDED UNDER AUDITOR'S FILE NO. 94497 AND 94498, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

PARCEL B:

THE SOUTH HALF OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 29 NORTH, RANGE 5 EAST OF WILLAMETTE MERIDIAN;
 EXCEPT THE WEST 30 FEET CONVEYED TO SNOHOMISH COUNTY BY DEEDS RECORDED UNDER AUDITOR'S FILE NO. 94497 AND 94498, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24, LYING NORTH OF THE LINE DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE SOUTH 89°44'00" EAST ALONG THE NORTH LINE THEREOF 96.50 FEET TO THE POINT OF BEGINNING AT AN EXISTING FENCE; THENCE SOUTH 89°20'13" EAST ALONG EXISTING FENCE LINES 549.17 FEET TO THE EAST LINE OF SAID SUBDIVISION AT A POINT 3.8 FEET SOUTH OF THE NORTHEAST CORNER THEREOF.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

SITE DATA

TOTAL SITE AREA 204,733 SF (4.70 ACRES)
 LOTS PROPOSED 34
 EXISTING ZONING UR
 PROPOSED ZONING HDR

MAX. DENSITY CALCULATIONS

204,733 SF
 34 LOTS ARE PROPOSED
 SMALLEST LOT.....3600 SF

204,733 SF / 34 = 6,021 SF / LOT
 204,733 SF - 20,835 SF (WETLAND) - 49,253 SF (R.O.W.)
 = 134,645 SF
 134,645 SF / 34 = 3,960 SF / LOT

PARKING

2 STALLS EACH LOT IN DRIVEWAY
 2 STALLS EACH LOT IN GARAGE
 34 LOTS X 4 STALLS / LOT = 136 STALLS

VERTICAL DATUM

NAVD 88
 FOUND Cased CONC. MON. W/ 1" BRASS DISK & PUNCH. 1.0' DOWN, 128.08' NORTH OF PROP. ON CENTERLINE 83RD AVE. S.E.
 ELEV. = 325.29'
 PER GPS OBSERVATIONS

DENSITY & DIMENSIONAL REGULATIONS
 Bulk Regulations Chapter 14.38 LSMC (Table 14-38-1) and (Table 14-48-1)

- Minimum lot size - 3600 square feet
- Minimum lot width - 40 feet
- Front setback - minimum 10 feet and a maximum of 20 feet from ROW line
- Side / Rear setback - 5 feet
- Height - 45 feet
- Maximum impervious area - 65%
- No fence may exceed 42 inches in height within the front yard setback

UTILITY PROVIDERS

WATER ----- SNOHOMISH COUNTY PUD NO. 1
 SEWER ----- LAKE STEVENS SEWER DISTRICT
 POWER ----- SNOHOMISH COUNTY PUD NO. 1
 GAS ----- PUGET SOUND ENERGY
 PHONE ----- VERIZON
 CABLE TV ----- COMCAST

UTILITY CONFLICT NOTE: CAUTION!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 1-800-424-9559 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT THEIR LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. PRIOR TO COMMENCING CONSTRUCTION OF STORM DRAINAGE AND DETENTION SYSTEM, CONTRACTOR SHALL VERIFY CONNECTION FROM DETENTION OUTLET TO THE IN LOCATION OF STORM DRAINAGE SYSTEM. IF ANY CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT SOUND DESIGN ENGINEERING TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



Pacific Coast Surveys, Inc.
 PROFESSIONAL LAND SURVEYING
 P.O. BOX 13619
 MILL CREEK, WA 98082
 PH. 425.508.4951 FAX 425.357.3577
 www.PCSurveys.net

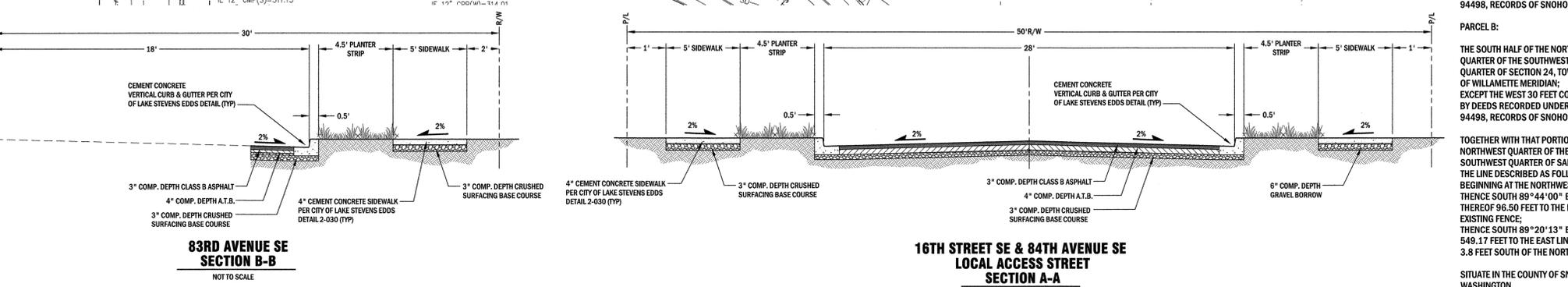
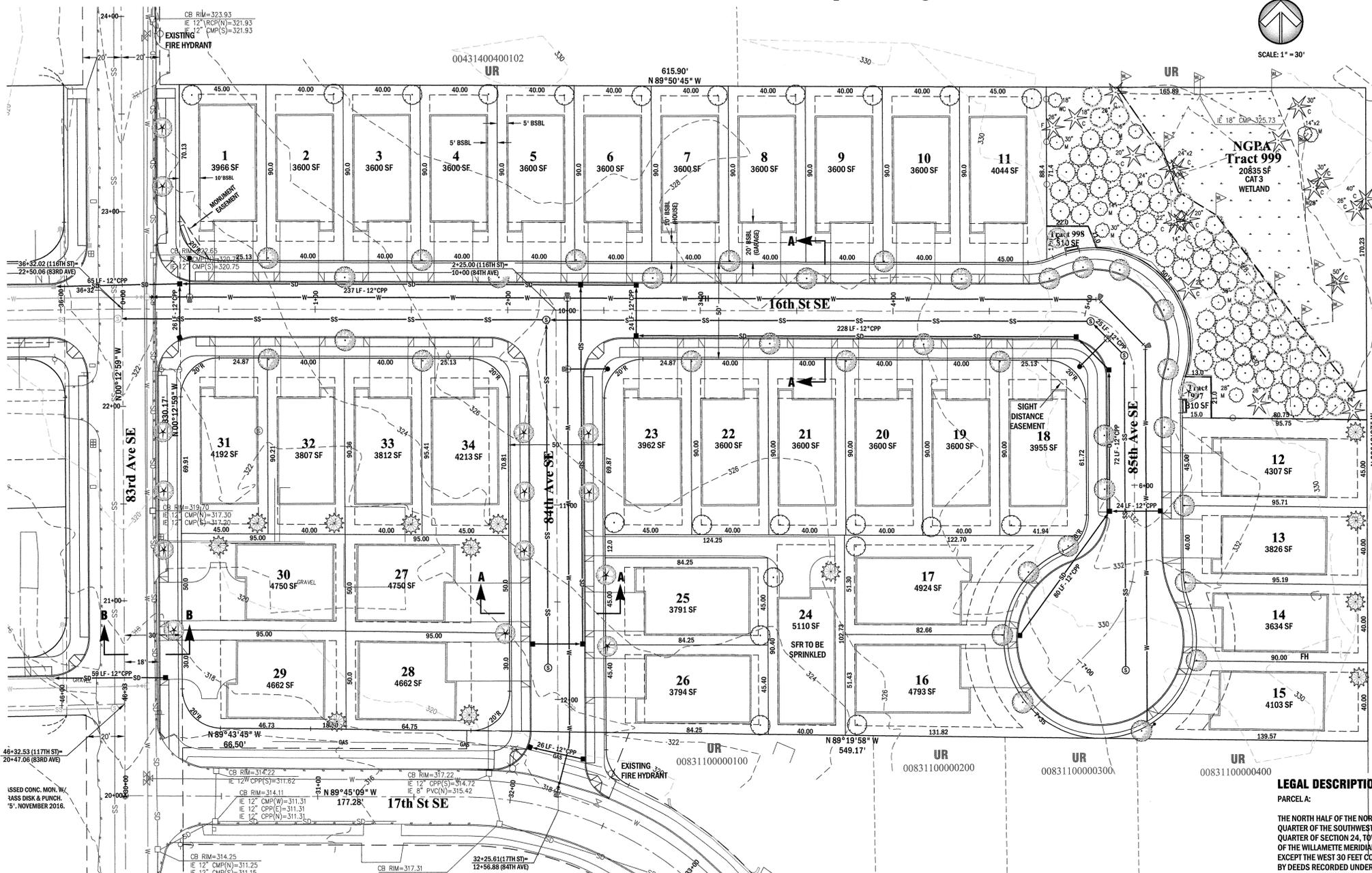


SOUND DESIGN ENGINEERING, INC
 ROBERT NEHRING, P.E.
 10515 20th Street S.E., Lake Stevens, WA 98258
 TEL: (425) 773-9567

Lyon's Gate Estates - Phase 2
FOR JM1 HOLDINGS LLC
PRELIMINARY PLAT MAP

DATE: 01/18/17
 DRAWN BY: VK
 CHECKED BY: RBN
 FILE: Lyons Gate Phase 2 Base.dwg
SHEET 1 OF 1

SW 1/4 SW 1/4 Sec. 24, Twp. 29 N, Rge. 05 E, W.M.



TREE SURVEY TABLE

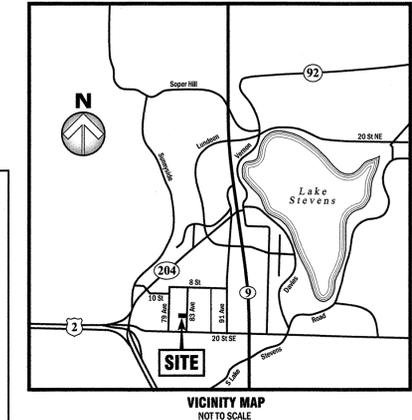
SIGNIFICANT TREES	187
TREES TO BE RETAINED	29
REPLACEMENT TREES	474
STREET TREES	49
SHADE TREES	68
PROPOSED TREES	117
PAYMENT IN LIEU OF \$17,850 (357 TREES @ \$50/TREE)	

STORM DRAINAGE TO BE DISCHARGED TO A REGIONAL DETENTION POND TO THE WEST

- DENSITY & DIMENSIONAL REGULATIONS**
 Bulk Regulations Chapter 14.38 LMC (Table 14-38-1) and (Table 14-48-1)
- Minimum lot size - 3600 square feet
 - Minimum lot width - 40 feet
 - Front setback - minimum 10 feet and a maximum of 20 feet from ROW line
 - Side / Rear setback - 5 feet
 - Height - 45 feet
 - Maximum impervious area - 65%
 - No fence may exceed 42 inches in height within the front yard setback

PARKING

- 2 STALLS EACH LOT IN DRIVEWAY
- 2 STALLS EACH LOT IN GARAGE
- 34 LOTS X 4 STALLS / LOT = 136 STALLS



PROJECT DATA

APPLICANT	JM1 HOLDINGS LLC P.O. BOX 610 LAKE STEVENS, WA 98258 CONTACT: TIM KAINITZ (425) 359-4487
OWNER	SKYLINE PROPERTY MANAGEMENT LLC CONTACT: TERRY KLETT 10829 39TH DR SE EVERETT, WA 98208
ENGINEER/CONTACT	SOUND DESIGN ENGINEERING, INC ROBERT NEHRING, P.E. 10515 20TH STREET S.E. LAKE STEVENS, WA 98258 (425) 773-9567
SURVEYOR	PACIFIC COAST SURVEYS, INC DARREN RIDDLE, PLS P.O. BOX 3286 EVERETT, WA 98213 (425) 508-4951
GEOTECH	EARTH SOLUTIONS NW LLC 1805 136TH PL NE STE 201 BELLEVUE, WA 98005 (425) 449-4704
SITE ADDRESSES	1615 83RD AVENUE SE 1621 83RD AVENUE SE
TAX PARCEL NO.s	29052400300600 29052400300500
SITE AREA	4.70 AC
PROPOSED ZONING	HUR (R3600)
EXISTING ZONING	UR (R7500)
PROPOSED LAND USE	HDR
EXISTING LAND USE	MDR

SITE DATA

TOTAL SITE AREA	204,733 SF (4.70 ACRES)
LOTS PROPOSED	34
EXISTING ZONING	UR
PROPOSED ZONING	HUR

MAX. DENSITY CALCULATIONS

204,733 SF / 34 = 6,021 SF / LOT
204,733 SF - 20,835 SF (WETLAND) - 49,253 SF (R.O.W.) = 134,645 SF
134,645 SF / 34 = 3,960 SF / LOT

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SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

CITY OF LAKE STEVENS CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE APPLICABLE CITY OF LAKE STEVENS CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRED OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS OR AUTHORIZATIONS THAT MAY INCLUDE, BUT ARE NOT LIMITED TO, WIDROW HYDRAULIC PROJECT APPROVAL (HPA), WASHINGTON STATE ECOLOGY'S NOTICE OF INTENT (NOI), NEDES CONSTRUCTION STORMWATER GENERAL PERMIT, ALL U.S. ARMY CORPS OF ENGINEERS FILL PERMITS, AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

THIS _____ DAY OF _____, 20____.

BY: _____
 CITY ENGINEER/PUBLIC WORKS DIRECTOR

UTILITY PROVIDERS

WATER	----- SNOHOMISH COUNTY PUD NO. 1
SEWER	----- LAKE STEVENS SEWER DISTRICT
POWER	----- SNOHOMISH COUNTY PUD NO. 1
GAS	----- PUGET SOUND ENERGY
PHONE	----- VERIZON
CABLE TV	----- COMCAST

NO.	REVISION	DATE

UTILITY CONFLICT NOTE: CAUTION!

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PROFESSIONAL ENGINEER

ROBERT B. NEHRING, P.E.
 10515 20th Street S.E., Lake Stevens, WA 98258
 TEL: (425) 773-9567

SOUND DESIGN ENGINEERING, INC

ROBERT NEHRING, P.E.
 10515 20th Street S.E., Lake Stevens, WA 98258
 TEL: (425) 773-9567

Lyon's Gate Estates Phase 2 FOR JM1 HOLDINGS LLC

PRELIMINARY SITE PLAN

DATE: 01/20/17
 DRAWN BY: VK
 CHECKED BY: RBN
 FILE: Lyon's Gate Phase 2 Base.dwg
 SHEET 1 OF 1



Delineation / Mitigation / Restoration / Habitat Creation / Permit Assistance

9505 19th Avenue S.E.
Suite 106
Everett, Washington 98208
(425) 337-3174
Fax (425) 337-3045

**CRITICAL AREA STUDY
AND
BUFFER MITIGATION PLAN**

FOR

LYON'S GATE ESTATES – PHASE 2
LAKE STEVENS, WA

Wetland Resources, Inc. Project #16322

Prepared By
Wetland Resources, Inc.
9505 19th Avenue SE, Suite 106
Everett, WA 98208
(425) 337-3174

Prepared For
JM1 Holdings, LLC
PO Box 610
Lake Stevens, WA 98258

December 7, 2016

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APPENDIX A: WETLAND RATING FORM

APPENDIX B: WETLAND DETERMINATION DATA FORMS

APPENDIX C: CRITICAL AREA STUDY & BUFFER MITIGATION MAP

1.0 SITE DESCRIPTION

Wetland Resources, Inc. completed a site investigation in November, 2016, on the 5.0-acre site located at 1615 and 1621 83rd Avenue SE, in Lake Stevens, Washington. The purpose of the site investigation was to evaluate jurisdictional wetlands and streams on and in the vicinity of the subject site. The property is located in a portion of Section 24, Township 29N, Range 5E, W.M. and the tax identification numbers for the subject parcels are 29052400300500 and 29052400300600.

The subject property is accessed from the west via driveways from 83rd Avenue SE. The western portions of both parcels are developed with single family residences, outbuildings, lawn and garden areas. The remainder of the property is forested. Topography has a gentle west aspect, sloping downward from east to west.

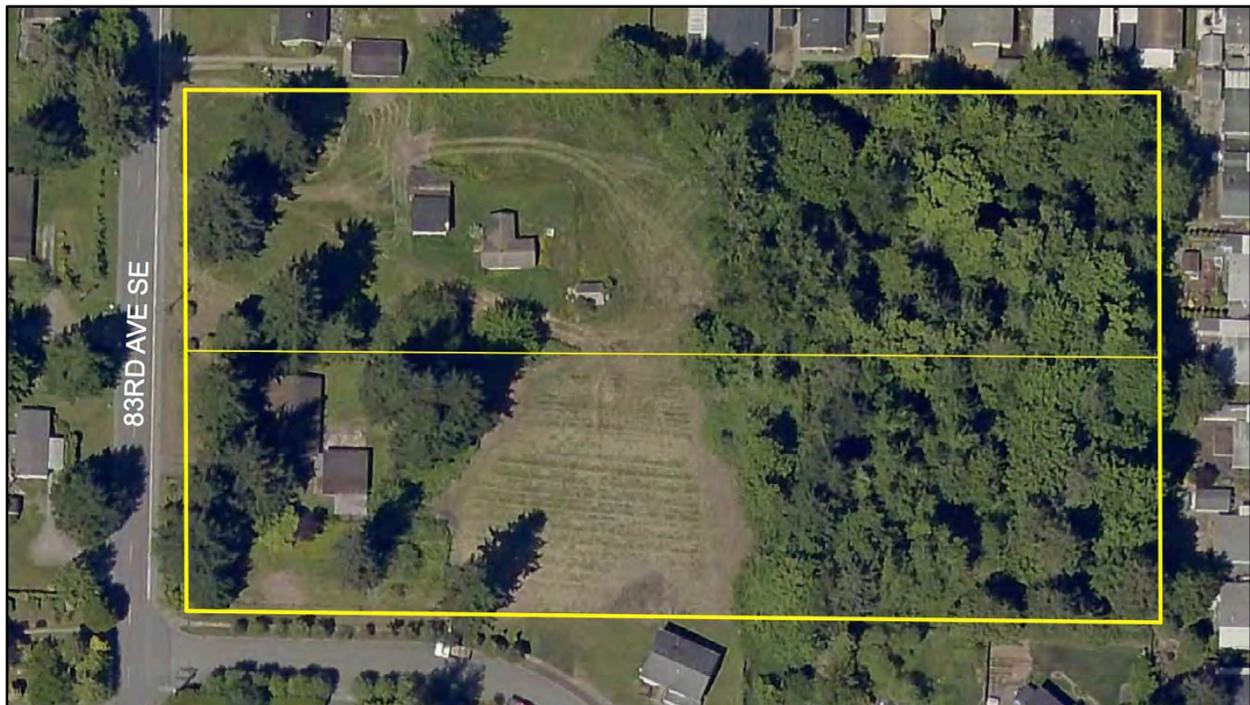


Figure 1: 2012 aerial photo of the subject property.

Vegetation within the developed portions of the property is maintained lawn with scattered trees and landscaping. The forested areas are dominated by Western red cedar (*Thuja plicata*), big-leaf maple (*Acer macrophyllum*), red alder (*Alnus rubra*), salmonberry (*Rubus spectabilis*), vine maple (*Acer circinatum*), Himalayan blackberry (*Rubus armeniacus*), and swordfern (*Polystichum munitum*).

One wetland is located in the northeastern corner of the subject property. Under the 2004 Wetland Rating System for Western Washington, the wetland is classified as a Category III wetland with a total score of 44 points and 16 points for wildlife habitat. Under Lake Stevens Municipal Code (LSMC) 14.800.830, Category III wetlands with low (<20) habitat scores

adjacent to high intensity land uses (four or more units per acre) receive 50-foot protective buffers. No other wetlands or streams occur within 300 feet of the property.

2.0 WETLAND CLASSIFICATION

2.1 COWARDIN SYSTEM

According to the Cowardin System, as described in Classification of Wetlands and Deepwater Habitats of the United States, the classification for the on-site wetland is as follows:

Palustrine: Forested Wetland, Broad-leaved Deciduous, Seasonally Flooded

2.2 CITY OF LAKE STEVENS

Lake Stevens Municipal Code (LSMC) 14.88.800 requires wetlands to be classified using the Washington State Department of Ecology (WSDOE) Wetland Rating System for Western Washington, Publication No. 04-06-025. Under this system, the on-site wetland is classified as follows:

Wetland: The on-site wetland is a depressional wetland that receives a total score of 44 with a habitat score of 16 on the 2004 WSDOE Wetland Rating Form for Western Washington (attached). Wetlands with scores between 30 and 50 points for all functions are classified as Category III wetlands. Under LSMC 14.88.830, Table 14.88-II, Category III wetlands with low (<20) habitat scores adjacent to high intensity land uses typically receive 50-foot buffers from their delineated edges.

3.0 WETLAND DETERMINATION REPORT

3.1 METHODOLOGY

On site, the routine methodology described in the U.S. Army Corps of Engineers 2010 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region, Version 2.0, (manual) was used for this determination, as required by the City of Lake Stevens. Under this method, the general process for making a wetland determination is based on three sequential steps:

- 1.) Examination of the site for hydrophytic vegetation (species present and percent cover);
- 2.) If hydrophytic vegetation is found, then the presence of hydric soils is determined;
- 3.) The final step is determining if wetland hydrology exists in the area examined under the first two steps.

The following criteria descriptions were used in the boundary determination:

3.2 VEGETATION CRITERIA

The manual defines hydrophytic vegetation as the sum total of macrophytic plant life that occurs in areas where the frequency and duration of inundation or soil saturation produce permanently or periodically saturated soils of sufficient duration to exert a controlling influence on the plant species present. One of the most common indicators for hydrophytic vegetation is when more than 50 percent of a plant community consists of species rated “Facultative” and wetter on lists of plant species that occur in wetlands.

3.3 SOILS CRITERIA AND MAPPED DESCRIPTION

The manual defines hydric soils as those that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part. Field indicators are used for determining whether a given soil meets the definition for hydric soils.

The soils underlying the site are mapped in the Soil Survey of Snohomish County Area Washington as Tokul Gravelly Medial Loam (0-8% slopes).

Tokul gravelly medial loam is described as moderately deep, moderately well drained soil on till plains. This soil formed in glacial till and volcanic ash. Typically, the surface is covered with a mat of leaves, twigs, and decomposed litter about two inches thick. The surface layer is dark brown gravelly loam about 4 inches thick. The subsoil is brown, strong brown, and dark yellowish brown gravelly loam about 18 inches thick. A hardpan is at a depth of about 31 inches. Permeability of this soil is moderate above the hardpan and very slow through it. Available water capacity is moderate. Included in this unit are areas of soils that have slopes of more than 8 percent, McKenna and Norma soils in depressional areas along drainageways on till plains, Terric Medisaprists in depressional areas on till plains, Winston and Pastik soils on terraces and outwash plains, and Ragnar soils on outwash plains. Included areas make up about 25 percent of the total acreage. McKenna and Norma soils are listed on the Hydric Soils List for Washington State.

3.4 HYDROLOGY CRITERIA

The manual states that “Wetland hydrology indicators are used in combination with indicators of hydric soil and hydrophytic vegetation to determine whether an area is a wetland under the Corps Manual. Indicators of hydrophytic vegetation and hydric soil generally reflect a site’s medium- to long-term wetness history. They provide readily observable evidence that episodes of inundation or soil saturation lasting more than a few days during the growing season have occurred repeatedly over a period of years and that the timing, duration, and frequency of wet conditions have been sufficient to produce a characteristic wetland plant community and hydric soil morphology.” Field indicators are used for determining whether wetland hydrology parameters are met.

3.5 BOUNDARY DETERMINATION FINDINGS

3.5.1 On-site Wetland

HGM Class: Depressional

Cowardin: Palustrine, Forested Wetland, Broad-leaved Deciduous, Seasonally Flooded

DOE/Lake Stevens Rating: Category III

Required Buffer: 50'

The on-site wetland is a small, depressional wetland with an intermittent outlet (culvert) located in the northeastern corner of the site. It received a total score for functions of 44 with a habitat score of 16 on the DOE Wetland Rating Form for Western Washington (Version 2). Wetlands with scores between 30 and 50 points for all functions are classified as Category III wetlands, per LSMC 14.88.800. Category III wetlands with low habitat scores (<20 points) adjacent to high intensity land uses in Lake Stevens typically receive 50-foot buffers.



Figure 2: View of on-site wetland in November, 2016.

Dominant vegetation within the wetland consists of the following species: Western red cedar (*Thuja plicata*, Fac), red alder (*Alnus rubra*, Fac), salmonberry (*Rubus spectabilis*, Fac), lady fern

(*Athyrium filix-femina*, Fac), and slough sedge (*Carex obnupta*, Obl). Vegetation within the wetland meets hydrophytic vegetation criteria (Facultative or wetter vegetation community).

Soils underlying the wetland area have a Munsell color of black (10YR 2/1) from the surface to 15” below. Soil texture is a silt loam. During the November, 2016, site investigation, soils were either saturated to the surface or seasonally ponded to a depth of 12”. Although a depleted or gleyed layer was not encountered in the upper 15” of the soil profile, it is assumed that a depleted layer at least 6” thick lies slightly deeper, which would meet the criteria for hydric soil indicator A12, Thick Dark Surface. Hydrology is supplied by surface runoff in the small surrounding basin. Based on the vegetation, soils and hydrology present, it appears that these soils are saturated in the upper part for at least two weeks during the growing season and thereby meet hydric soil and hydrology criteria.

The on-site wetland meets vegetation, soils, and hydrology criteria for designation as a wetland.

3.5.2 Non-Wetland Areas

Vegetation in the developed, non-wetland areas of the site consists of maintained lawn and scattered trees and landscaping. The non-wetland forested areas are dominated by Western red cedar (*Thuja plicata*), big-leaf maple (*Acer macrophyllum*), red alder (*Alnus rubra*), salmonberry (*Rubus spectabilis*), vine maple (*Acer circinatum*), Himalayan blackberry (*Rubus armeniacus*) and swordfern (*Polystichum munitum*)

The underlying soils within the non-wetland areas display Munsell colors of very dark brown (10YR 2/2) from 0 to 3” below the surface, with dark yellowish brown (10YR 4/4) from 3” to 15” below the surface. Soil textures are loam to sandy loam and were slightly moist during our site investigation.

Based on the lack of hydric soils, the areas mapped as non-wetland do not meet the three-parameter criteria for designation as wetlands.

3.6 WETLAND FUNCTIONS AND VALUES ASSESSMENT

3.6.1 Methodology

The methodology for this functions and values assessment is based on professional opinion developed through past field analyses and interpretations. This assessment pertains specifically to the on-site wetlands, but is typical for assessments of similar systems throughout western Washington.

3.6.2 Wetland Analysis

The on-site wetland has potential to provide functions to the surrounding environment, such as hydrologic control, water quality improvements, and wildlife habitat.

Hydrologic control (flood control and water supply) is an important function provided by wetlands. Wetlands often function as natural water storage areas during periods of high precipitation and are able to accumulate stormwater runoff. Wetlands with no outlets or limited outlets often store greater amounts of water than wetlands with unrestricted outlets. Heavily

vegetated wetlands help to slow flows during precipitation events, thereby storing hydrology for longer periods. The on-site wetland is depressional with an intermittent outlet (culvert). Vegetation is in-tact, dominated by native species, but is relatively sparse in the wetland itself. Based on the depressional nature of the wetland, its vegetative components, and presence of an intermittent outlet, this wetland provides a low-moderate value for this function.

Water quality function is closely tied to hydrologic control. As water flows through wetlands, it is slowed by vegetation, giving time for suspended solids to settle out before the water moves downstream. The existing water quality functions for the on-site wetland are moderate due to the geomorphic setting (depression) and partial cover by rigid vegetation.

Wildlife habitat function is dependent upon many factors, including vegetation structure, wetland/upland interspersion, location in the landscape, and proximity to water and other habitat types. The on-site wetland provides a low-moderate value for wildlife habitat based on vegetation structure, hydroperiods, richness of plant species, habitat interspersion and buffer quality.

3.6.3 Wetland Functions and Values Conclusion

The on-site wetland provides low to moderate values for all functions.

4.0 PROJECT DESCRIPTION AND PROPOSED BUFFER AVERAGING

4.1 INTRODUCTION

The applicant is proposing a 34-lot residential development on the site, including access roads and other required infrastructure. No impacts are proposed to the on-site wetland. Permanent buffer impacts are proposed to be avoided through the application of buffer width averaging.

Lake Stevens Municipal Code (LSMC) has provisions for wetland buffer width averaging. Buffer width reductions up to 25% of the standard buffer width are allowed on wetlands through buffer averaging, as provided in LSMC 14.88.830(c). Under these provisions, the applicant is proposing to reduce portions of the buffer on the on-site wetland from 50 feet to 37.5 feet (25% reduction) in exchange for designation of additional buffer (see Section 4.3 below).

4.2 AVOIDANCE, MINIMIZATION AND COMPENSATION

Lake Stevens Municipal Code (LSMC 14.88.010(a)) requires that project proponents make all reasonable efforts to avoid and minimize impacts to critical areas and buffers in the following sequential order: avoiding impacts if possible, minimizing impacts where avoidance is not possible, and then compensating for unavoidable impacts. The current proposal avoids all impacts to the on-site wetland. Three small wetland buffer width reductions are proposed under the buffer averaging provisions in order to fit the proposed development onto the site. Through the application of buffer width averaging, all permanent impacts to critical areas and buffers are avoided.

4.3 WETLAND BUFFER WIDTH AVERAGING

The buffer on the on-site wetland is proposed to be averaged in order to construct the proposed development. A total of 837 square feet (271+506+60) of buffer is proposed to be reduced to a minimum of 37.5' and averaged with 912 square feet (451+461) of additional buffer. The additional buffer areas are composed of the same high-quality, forested buffer vegetation as those that are proposed for reduction, so no reduction of habitat, water quality purification and enhancement, stormwater detention, groundwater recharge, shoreline protection, erosion protection or other functions and values of the wetland and buffer will occur, per the requirements of LSMC 14.88.830(c)(1). The required wetland buffer area will slightly increase in size under this proposal (additional 75 square feet). Due to the increased size of the buffer area, this proposal meets the requirements of LSMC 14.88.830(c)(2). This project, as proposed, meets all of the wetland buffer width averaging requirements of LSMC 14.88.830(c).

4.4 TREE REPLACEMENT IN BUFFER

Lake Stevens Municipal Code (LSMC 14.76) requires preservation or replacement of existing trees. A Landscaping Plan has been developed by Origin Design Group that includes tree replacement plantings in the buffer of the on-site wetland. All tree plantings proposed in the buffer are native species (Western red cedar and Douglas-fir). Over time, these native tree plantings will enhance the functions provided by the buffer, including wildlife habitat, water quality and wetland protection.

4.5 POST-DEVELOPMENT FUNCTIONS AND VALUES

The proposed development includes the application of wetland buffer width averaging to avoid permanent impacts to critical areas and buffers. Since the proposed additional buffer areas are composed of the same high-quality, forested buffer vegetation as those that are proposed for reduction, no reduction in wetland or buffer functions and values will occur. After development, the on-site wetland will continue to provide low to moderate values for the functions of hydrologic control, water quality and wildlife habitat.

4.6 PERMANENT PROTECTION

All wetlands and streams and their required buffers shall be permanently protected by designating them as Native Growth Protection Areas (NGPA) in accordance with LSMC 14.88.290.

“Native Growth Protection Area (NGPA) means an area which is to be left permanently undisturbed in a substantially natural state and in which no clearing, grading, filling, building construction or placement, or road construction of any kind is allowed except the following:

- (1) On a case by case basis, when supported by a critical areas assessment study, crossings for underground utility lines which utilize the shortest alignment possible and for which no alignment that would avoid such crossing is feasible;*

- (2) *Removal of hazardous trees by the property owner; when based on a recommendation by a qualified arborist and an assessment of hazardous tree risk study and when approved by the city.*

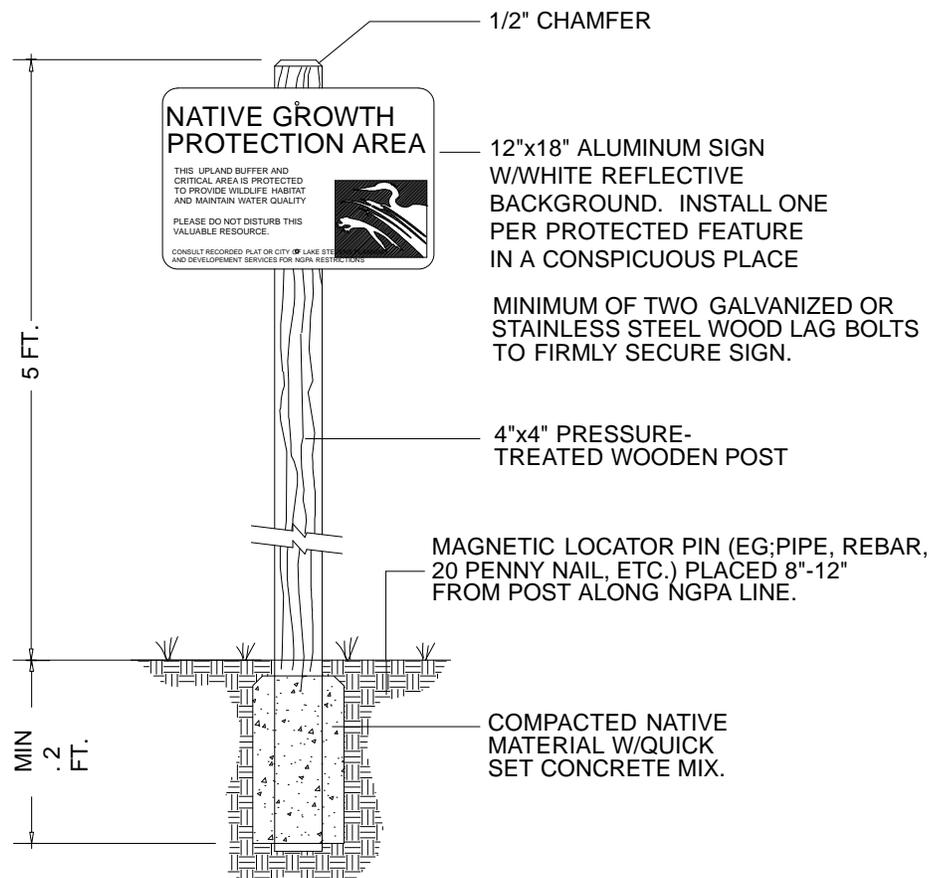
Pursuant to LSMC 14.88.295, existing legally (on-going) established structures and non-native or ornamental landscaping, including, but not necessarily limited to: gardens, yards, pastures, and orchards, are not required to be designated as NGPAs.

4.7 CRITICAL AREA FENCING AND SIGNAGE

Permanent fencing and signage adjacent to a regulated wetland or stream corridor shall be required, per the requirements outlined in LSMC 14.88.287. Fence locations are shown on the attached map.

Signs designating the presence of the critical area shall be posted along the buffer boundary. Signs shall be placed at approximately 100-foot intervals along the perimeter of the buffer, as shown on the attached map. Standard details for signage are kept on file at the Planning and

Community Development Department. A detail for a typical critical area sign is provided below.



1. NGPA SIGNS SHALL BE PLACED NO GREATER THAN 100' APART AROUND THE PERIMETER OF THE NATIVE GROWTH PROTECTION AREA. MINIMUM PLACEMENT SHALL INCLUDE ONE SIGN PER WETLAND, AND AT LEAST ONE SIGN SHALL BE PLACED IN ANY LOT THAT BORDERS THE NATIVE GROWTH PROTECTION AREA, UNLESS OTHERWISE APPROVED BY THE CITY.
2. SIGN PLACEMENT SHALL BE SUBJECT TO APPROVAL OF THE CITY OF LAKE STEVENS. ALTERNATIVE SIGN DESIGNS MAY BE SUBMITTED TO THE CITY OF LAKE STEVENS FOR APPROVAL.
3. ALL SIGNS MUST BE SECURE AND PERMANENT.

Figure 3: NGPA Sign Detail

5.0 USE OF THIS REPORT

This Critical Area Study and Buffer Mitigation Plan is supplied to JM1 Holdings, LLC, as a means of determining on-site wetland conditions. This report is based largely on readily observable conditions and, to a lesser extent, on readily ascertainable conditions. No attempt has been made to determine hidden or concealed conditions.

The laws applicable to wetlands are subject to varying interpretations and may be changed at any time by the courts or legislative bodies. This report is intended to provide information deemed relevant in the applicant's attempt to comply with the laws now in effect.

The work for this report has conformed to the standard of care employed by wetland ecologists. No other representation or warranty is made concerning the work or this report and any implied representation or warranty is disclaimed.

Wetland Resources, Inc.



John Laufenberg
Principal Ecologist
Professional Wetland Scientist

6.0 REFERENCES

- Cowardin, et al., 1979. Classification of Wetlands and Deepwater Habitats of the United States. U.S.D.I. Fish and Wildlife Service. FWS/OBS-79/31. December 1979.
- Lake Stevens Municipal Code, Chapter 14.88. Lake Stevens, Washington. August 21, 2008.
- National List of Plant Species that Occur in Wetlands, Northwest Region. 1996. U.S. Department of the Interior, Fish and Wildlife Service. Washington, D.C.
- Soil Survey of Snohomish County Area Washington. U.S.D.A. Soil Conservation Service. July 1983.
- U.S. Army Corps of Engineers. 2010. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0), ed. J.S. Wakeley, R.W. Lichvar, and C.V. Noble. ERDC/EL TR-10-3. Vicksburg, MS: US Army Engineer Research and Development Center.
- Washington State Wetlands Identification and Delineation Manual. Washington State Department of Ecology. Publication #96-94. March 1997.
- Wetland Mitigation in Washington State Part 1: Agency Policies and Guidance. Washington Department of Ecology. Publication #06-06-011a. March 2006.

Appendix A
DOE Wetland Rating Form

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Wetland name or number A

WETLAND RATING FORM – WESTERN WASHINGTON

Version 2 - Updated July 2006 to increase accuracy and reproducibility among users
 Updated Oct 2008 with the new WDFW definitions for priority habitats

Name of wetland (if known): Lyon's Gate Estates 2 - Wetland A Date of site visit: 11/9/16

Rated by JL Trained by Ecology? Yes No Date of training 4/2007

SEC: 24 TOWNSHIP: 29N RANGE: 5E Is S/T/R in Appendix D? Yes No

Map of wetland unit: Figure Estimated size 0.14 acre

SUMMARY OF RATING

Category based on FUNCTIONS provided by wetland

I II III IV

Category I = Score >=70
Category II = Score 51-69
Category III = Score 30-50
Category IV = Score < 30

Score for Water Quality Functions	18
Score for Hydrologic Functions	10
Score for Habitat Functions	16
TOTAL score for Functions	44

Category based on SPECIAL CHARACTERISTICS of wetland

I II Does not Apply

III

Final Category (choose the “highest” category from above)

Summary of basic information about the wetland unit

Wetland Unit has Special Characteristics		Wetland HGM Class used for Rating	
Estuarine		Depressional	<input checked="" type="checkbox"/>
Natural Heritage Wetland		Riverine	
Bog		Lake-fringe	
Mature Forest		Slope	
Old Growth Forest		Flats	
Coastal Lagoon		Freshwater Tidal	
Interdunal			
None of the above	<input checked="" type="checkbox"/>	Check if unit has multiple HGM classes present	<input type="checkbox"/>

Wetland name or number A

Does the wetland unit being rated meet any of the criteria below?

If you answer YES to any of the questions below you will need to protect the wetland according to the regulations regarding the special characteristics found in the wetland.

Check List for Wetlands That May Need Additional Protection (in addition to the protection recommended for its category)	YES	NO
SP1. <i>Has the wetland unit been documented as a habitat for any Federally listed Threatened or Endangered animal or plant species (T/E species)?</i> For the purposes of this rating system, "documented" means the wetland is on the appropriate state or federal database.		✓
SP2. <i>Has the wetland unit been documented as habitat for any State listed Threatened or Endangered animal species?</i> For the purposes of this rating system, "documented" means the wetland is on the appropriate state database. Note: Wetlands with State listed plant species are categorized as Category I Natural Heritage Wetlands (see p. 19 of data form).		✓
SP3. <i>Does the wetland unit contain individuals of Priority species listed by the WDFW for the state?</i>		✓
SP4. <i>Does the wetland unit have a local significance in addition to its functions?</i> For example, the wetland has been identified in the Shoreline Master Program, the Critical Areas Ordinance, or in a local management plan as having special significance.		✓

To complete the next part of the data sheet you will need to determine the Hydrogeomorphic Class of the wetland being rated.

The hydrogeomorphic classification groups wetlands into those that function in similar ways. This simplifies the questions needed to answer how well the wetland functions. The Hydrogeomorphic Class of a wetland can be determined using the key below. See p. 24 for more detailed instructions on classifying wetlands.

Wetland name or number A

Classification of Wetland Units in Western Washington

If the hydrologic criteria listed in each question do not apply to the entire unit being rated, you probably have a unit with multiple HGM classes. In this case, identify which hydrologic criteria in questions 1-7 apply, and go to Question 8.

1. Are the water levels in the entire unit usually controlled by tides (i.e. except during floods)?

NO – go to 2 YES – the wetland class is **Tidal Fringe**

If yes, is the salinity of the water during periods of annual low flow below 0.5 ppt (parts per thousand)? YES – **Freshwater Tidal Fringe** NO – **Saltwater Tidal Fringe (Estuarine)**

*If your wetland can be classified as a Freshwater Tidal Fringe use the forms for **Riverine** wetlands. If it is Saltwater Tidal Fringe it is rated as an **Estuarine** wetland. Wetlands that were called estuarine in the first and second editions of the rating system are called Salt Water Tidal Fringe in the Hydrogeomorphic Classification. Estuarine wetlands were categorized separately in the earlier editions, and this separation is being kept in this revision. To maintain consistency between editions, the term “Estuarine” wetland is kept. Please note, however, that the characteristics that define Category I and II estuarine wetlands have changed (see p.).*

2. The entire wetland unit is flat and precipitation is the only source (>90%) of water to it.

Groundwater and surface water runoff are NOT sources of water to the unit.

NO – go to 3 YES – The wetland class is **Flats**

If your wetland can be classified as a “Flats” wetland, use the form for **Depressional** wetlands.

3. Does the entire wetland unit **meet both** of the following criteria?

___ The vegetated part of the wetland is on the shores of a body of permanent open water (without any vegetation on the surface) at least 20 acres (8 ha) in size;

___ At least 30% of the open water area is deeper than 6.6 ft (2 m)?

NO – go to 4 YES – The wetland class is **Lake-fringe (Lacustrine Fringe)**

4. Does the entire wetland unit **meet all** of the following criteria?

___ The wetland is on a slope (*slope can be very gradual*),

___ The water flows through the wetland in one direction (unidirectional) and usually comes from seeps. It may flow subsurface, as sheetflow, or in a swale without distinct banks.

___ The water leaves the wetland **without being impounded**?

NOTE: Surface water does not pond in these type of wetlands except occasionally in very small and shallow depressions or behind hummocks (depressions are usually <3ft diameter and less than 1 foot deep).

NO - go to 5 YES – The wetland class is **Slope**

Wetland name or number A

5. Does the entire wetland unit meet all of the following criteria?

The unit is in a valley, or stream channel, where it gets inundated by overbank flooding from that stream or river

The overbank flooding occurs at least once every two years.

NOTE: The riverine unit can contain depressions that are filled with water when the river is not flooding.

NO - go to 6 **YES** – The wetland class is **Riverine**

6. Is the entire wetland unit in a topographic depression in which water ponds, or is saturated to the surface, at some time during the year. This means that any outlet, if present, is higher than the interior of the wetland.

NO – go to 7 **YES** – The wetland class is **Depressional**

7. Is the entire wetland unit located in a very flat area with no obvious depression and no overbank flooding. The unit does not pond surface water more than a few inches. The unit seems to be maintained by high groundwater in the area. The wetland may be ditched, but has no obvious natural outlet.

NO – go to 8 **YES** – The wetland class is **Depressional**

8. Your wetland unit seems to be difficult to classify and probably contains several different HGM classes. For example, seeps at the base of a slope may grade into a riverine floodplain, or a small stream within a depressional wetland has a zone of flooding along its sides. GO BACK AND IDENTIFY WHICH OF THE HYDROLOGIC REGIMES DESCRIBED IN QUESTIONS 1-7 APPLY TO DIFFERENT AREAS IN THE UNIT (make a rough sketch to help you decide). Use the following table to identify the appropriate class to use for the rating system if you have several HGM classes present within your wetland. NOTE: Use this table only if the class that is recommended in the second column represents 10% or more of the total area of the wetland unit being rated. If the area of the class listed in column 2 is less than 10% of the unit; classify the wetland using the class that represents more than 90% of the total area.

<i>HGM Classes within the wetland unit being rated</i>	<i>HGM Class to Use in Rating</i>
Slope + Riverine	Riverine
Slope + Depressional	Depressional
Slope + Lake-fringe	Lake-fringe
Depressional + Riverine along stream within boundary	Depressional
Depressional + Lake-fringe	Depressional
Salt Water Tidal Fringe and any other class of freshwater wetland	Treat as ESTUARINE under wetlands with special characteristics

If you are unable still to determine which of the above criteria apply to your wetland, or if you have more than 2 HGM classes within a wetland boundary, classify the wetland as **Depressional** for the rating.

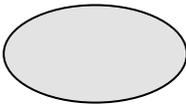
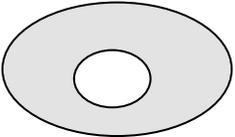
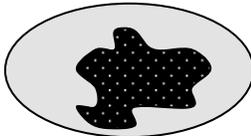
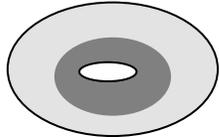
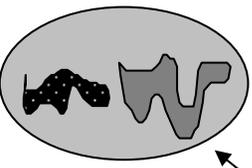
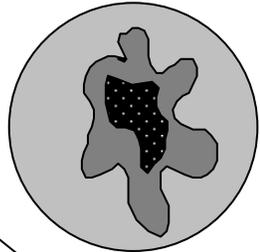
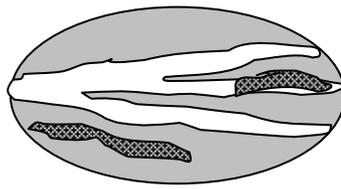
Wetland name or number A

D Depressional and Flats Wetlands		Points (only 1 score per box)
WATER QUALITY FUNCTIONS - Indicators that the wetland unit functions to improve water quality		
D	D 1. Does the wetland unit have the <u>potential</u> to improve water quality?	<i>(see p.38)</i>
D	D 1.1 Characteristics of surface water flows out of the wetland: <input type="checkbox"/> Unit is a depression with no surface water leaving it (no outlet) points = 3 <input checked="" type="checkbox"/> Unit has an intermittently flowing, OR highly constricted permanently flowing outlet points = 2 <input type="checkbox"/> Unit has an unconstricted, or slightly constricted, surface outlet (<i>permanently flowing</i>) points = 1 <input type="checkbox"/> Unit is a "flat" depression (Q. 7 on key), or in the Flats class, with permanent surface outflow and no obvious natural outlet and/or outlet is a man-made ditch points = 1 (If ditch is not permanently flowing treat unit as "intermittently flowing") Provide photo or drawing	Figure <u>2</u>
D	S 1.2 The soil 2 inches below the surface (or duff layer) is clay or organic (<i>use NRCS definitions</i>) <input type="checkbox"/> YES points = 4 <input checked="" type="checkbox"/> NO points = 0	0
D	D 1.3 Characteristics of persistent vegetation (emergent, shrub, and/or forest Cowardin class) <input type="checkbox"/> Wetland has persistent, ungrazed, vegetation > = 95% of area points = 5 <input checked="" type="checkbox"/> Wetland has persistent, ungrazed, vegetation > = 1/2 of area points = 3 <input type="checkbox"/> Wetland has persistent, ungrazed vegetation > = 1/10 of area points = 1 <input type="checkbox"/> Wetland has persistent, ungrazed vegetation <1/10 of area points = 0 Map of Cowardin vegetation classes	Figure <u>3</u>
D	D1.4 Characteristics of seasonal ponding or inundation. <i>This is the area of the wetland unit that is ponded for at least 2 months, but dries out sometime during the year. Do not count the area that is permanently ponded. Estimate area as the average condition 5 out of 10 yrs.</i> <input checked="" type="checkbox"/> Area seasonally ponded is > 1/2 total area of wetland points = 4 <input type="checkbox"/> Area seasonally ponded is > 1/4 total area of wetland points = 2 <input type="checkbox"/> Area seasonally ponded is < 1/4 total area of wetland points = 0 Map of Hydroperiods	Figure <u>4</u>
D	Total for D 1 <i>Add the points in the boxes above</i>	9
D	D 2. Does the wetland unit have the <u>opportunity</u> to improve water quality? Answer YES if you know or believe there are pollutants in groundwater or surface water coming into the wetland that would otherwise reduce water quality in streams, lakes or groundwater downgradient from the wetland. <i>Note which of the following conditions provide the sources of pollutants. A unit may have pollutants coming from several sources, but any single source would qualify as opportunity.</i> <input type="checkbox"/> Grazing in the wetland or within 150 ft <input type="checkbox"/> Untreated stormwater discharges to wetland <input type="checkbox"/> Tilled fields or orchards within 150 ft of wetland <input type="checkbox"/> A stream or culvert discharges into wetland that drains developed areas, residential areas, farmed fields, roads, or clear-cut logging <input checked="" type="checkbox"/> Residential, urban areas, golf courses are within 150 ft of wetland <input type="checkbox"/> Wetland is fed by groundwater high in phosphorus or nitrogen <input type="checkbox"/> Other _____ <input checked="" type="checkbox"/> YES multiplier is 2 <input type="checkbox"/> NO multiplier is 1	<i>(see p. 44)</i> multiplier <u>2</u>
D	TOTAL - Water Quality Functions Multiply the score from D1 by D2 <i>Add score to table on p. 1</i>	18

Wetland name or number A

D Depressional and Flats Wetlands		Points
HYDROLOGIC FUNCTIONS - Indicators that the wetland unit functions to reduce flooding and stream degradation		(only 1 score per box)
D 3. Does the wetland unit have the <u>potential</u> to reduce flooding and erosion?		(see p.46)
D	<p>D 3.1 Characteristics of surface water flows out of the wetland unit</p> <p><input type="checkbox"/> Unit is a depression with no surface water leaving it (no outlet) points = 4</p> <p><input checked="" type="checkbox"/> Unit has an intermittently flowing, OR highly constricted permanently flowing outlet points = 2</p> <p><input type="checkbox"/> Unit is a "flat" depression (Q. 7 on key), or in the Flats class, with permanent surface outflow and no obvious natural outlet and/or outlet is a man-made ditch points = 1 (If ditch is not permanently flowing treat unit as "intermittently flowing")</p> <p><input type="checkbox"/> Unit has an unconstricted, or slightly constricted, surface outlet (<i>permanently flowing</i>) points = 0</p>	2
D	<p>D 3.2 Depth of storage during wet periods</p> <p><i>Estimate the height of ponding above the bottom of the outlet. For units with no outlet measure from the surface of permanent water or deepest part (if dry).</i></p> <p><input type="checkbox"/> Marks of ponding are 3 ft or more above the surface or bottom of outlet points = 7</p> <p><input type="checkbox"/> The wetland is a "headwater" wetland points = 5</p> <p><input type="checkbox"/> Marks of ponding between 2 ft to < 3 ft from surface or bottom of outlet points = 5</p> <p><input type="checkbox"/> Marks are at least 0.5 ft to < 2 ft from surface or bottom of outlet points = 3</p> <p><input type="checkbox"/> Unit is flat (yes to Q. 2 or Q. 7 on key) but has small depressions on the surface that trap water points = 1</p> <p><input checked="" type="checkbox"/> Marks of ponding less than 0.5 ft points = 0</p>	0
D	<p>D 3.3 Contribution of wetland unit to storage in the watershed</p> <p><i>Estimate the ratio of the area of upstream basin contributing surface water to the wetland to the area of the wetland unit itself.</i></p> <p><input type="checkbox"/> The area of the basin is less than 10 times the area of unit points = 5</p> <p><input checked="" type="checkbox"/> The area of the basin is 10 to 100 times the area of the unit points = 3</p> <p><input type="checkbox"/> The area of the basin is more than 100 times the area of the unit points = 0</p> <p><input type="checkbox"/> Entire unit is in the FLATS class points = 5</p>	3
D	Total for D 3 <i>Add the points in the boxes above</i>	5
D	<p>D 4. Does the wetland unit have the <u>opportunity</u> to reduce flooding and erosion?</p> <p>Answer YES if the unit is in a location in the watershed where the flood storage, or reduction in water velocity, it provides helps protect downstream property and aquatic resources from flooding or excessive and/or erosive flows. Answer NO if the water coming into the wetland is controlled by a structure such as flood gate, tide gate, flap valve, reservoir etc. OR you estimate that more than 90% of the water in the wetland is from groundwater in areas where damaging groundwater flooding does not occur.</p> <p><i>Note which of the following indicators of opportunity apply.</i></p> <p><input type="checkbox"/> Wetland is in a headwater of a river or stream that has flooding problems</p> <p><input checked="" type="checkbox"/> Wetland drains to a river or stream that has flooding problems</p> <p><input type="checkbox"/> Wetland has no outlet and impounds surface runoff water that might otherwise flow into a river or stream that has flooding problems</p> <p><input type="checkbox"/> Other _____</p> <p><input checked="" type="checkbox"/> YES multiplier is 2 <input type="checkbox"/> NO multiplier is 1</p>	(see p. 49) multiplier <u>2</u>
D	TOTAL - Hydrologic Functions Multiply the score from D 3 by D 4 <i>Add score to table on p. 1</i>	10

Wetland name or number A

<p>H 1.4. Interspersion of habitats (see p. 76) Decide from the diagrams below whether interspersion between Cowardin vegetation classes (described in H 1.1), or the classes and unvegetated areas (can include open water or mudflats) is high, medium, low, or none.</p> <div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;">  <input type="checkbox"/> None = 0 points </div> <div style="text-align: center;">  <input type="checkbox"/> Low = 1 point </div> <div style="text-align: center;">  <input checked="" type="checkbox"/> Moderate = 2 points </div> <div style="text-align: center;">  <input type="checkbox"/> High = 3 points </div> </div> <div style="display: flex; justify-content: space-around; align-items: flex-start; margin-top: 20px;"> <div style="text-align: center;">  <input type="checkbox"/> High = 3 points </div> <div style="text-align: center;">  <input type="checkbox"/> High = 3 points </div> <div style="text-align: center;">  [riparian braided channels] </div> </div> <p style="text-align: center; margin-top: 10px;">NOTE: If you have four or more classes or three vegetation classes and open water the rating is always "high". Use map of Cowardin vegetation classes</p>	<p>Figure _____</p> <p style="font-size: 2em;">2</p>
<p>H 1.5. Special Habitat Features: (see p. 77) Check the habitat features that are present in the wetland. The number of checks is the number of points you put into the next column.</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Large, downed, woody debris within the wetland (>4in. diameter and 6 ft long). <input checked="" type="checkbox"/> Standing snags (diameter at the bottom > 4 inches) in the wetland <input type="checkbox"/> Undercut banks are present for at least 6.6 ft (2m) and/or overhanging vegetation extends at least 3.3 ft (1m) over a stream (or ditch) in, or contiguous with the unit, for at least 33 ft (10m) <input type="checkbox"/> Stable steep banks of fine material that might be used by beaver or muskrat for denning (>30degree slope) OR signs of recent beaver activity are present (<i>cut shrubs or trees that have not yet turned grey/brown</i>) <input type="checkbox"/> At least ¼ acre of thin-stemmed persistent vegetation or woody branches are present in areas that are permanently or seasonally inundated. (<i>structures for egg-laying by amphibians</i>) <input type="checkbox"/> Invasive plants cover less than 25% of the wetland area in each stratum of plants <p style="text-align: center; margin-top: 5px;">NOTE: The 20% stated in early printings of the manual on page 78 is an error.</p>	<p style="font-size: 2em;">2</p>
<p>H 1. TOTAL Score - potential for providing habitat Add the scores from H1.1, H1.2, H1.3, H1.4, H1.5</p>	<p style="font-size: 2em;">8</p>

Comments

Wetland name or number A

<p>H 2. Does the wetland unit have the opportunity to provide habitat for many species?</p>	
<p>H 2.1 <u>Buffers</u> (see p. 80) Choose the description that best represents condition of buffer of wetland unit. The highest scoring criterion that applies to the wetland is to be used in the rating. See text for definition of "undisturbed."</p> <p><input type="checkbox"/> 100 m (330ft) of relatively undisturbed vegetated areas, rocky areas, or open water >95% of circumference. No structures are within the undisturbed part of buffer. (relatively undisturbed also means no-grazing, no landscaping, no daily human use) Points = 5</p> <p><input type="checkbox"/> 100 m (330 ft) of relatively undisturbed vegetated areas, rocky areas, or open water > 50% circumference. Points = 4</p> <p><input type="checkbox"/> 50 m (170ft) of relatively undisturbed vegetated areas, rocky areas, or open water >95% circumference. Points = 4</p> <p><input type="checkbox"/> 100 m (330ft) of relatively undisturbed vegetated areas, rocky areas, or open water > 25% circumference, . Points = 3</p> <p><input type="checkbox"/> 50 m (170ft) of relatively undisturbed vegetated areas, rocky areas, or open water for > 50% circumference. Points = 3</p> <p style="text-align: center;">If buffer does not meet any of the criteria above</p> <p><input type="checkbox"/> No paved areas (except paved trails) or buildings within 25 m (80ft) of wetland > 95% circumference. Light to moderate grazing, or lawns are OK. Points = 2</p> <p><input type="checkbox"/> No paved areas or buildings within 50m of wetland for >50% circumference. Light to moderate grazing, or lawns are OK. Points = 2</p> <p><input type="checkbox"/> Heavy grazing in buffer. Points = 1</p> <p><input type="checkbox"/> Vegetated buffers are <2m wide (6.6ft) for more than 95% of the circumference (e.g. tilled fields, paving, basalt bedrock extend to edge of wetland) Points = 0.</p> <p><input checked="" type="checkbox"/> Buffer does not meet any of the criteria above. Points = 1</p> <p style="text-align: right;">Aerial photo showing buffers</p>	<p>Figure <u> </u></p> <p style="text-align: center;">1</p>
<p>H 2.2 <u>Corridors and Connections</u> (see p. 81)</p> <p>H 2.2.1 Is the wetland part of a relatively undisturbed and unbroken vegetated corridor (either riparian or upland) that is at least 150 ft wide, has at least 30% cover of shrubs, forest or native undisturbed prairie, that connects to estuaries, other wetlands or undisturbed uplands that are at least 250 acres in size? (dams in riparian corridors, heavily used gravel roads, paved roads, are considered breaks in the corridor).</p> <p><input type="checkbox"/> YES = 4 points (go to H 2.3) <input checked="" type="checkbox"/> NO = go to H 2.2.2</p> <p>H 2.2.2 Is the wetland part of a relatively undisturbed and unbroken vegetated corridor (either riparian or upland) that is at least 50ft wide, has at least 30% cover of shrubs or forest, and connects to estuaries, other wetlands or undisturbed uplands that are at least 25 acres in size? OR a Lake-fringe wetland, if it does not have an undisturbed corridor as in the question above?</p> <p><input type="checkbox"/> YES = 2 points (go to H 2.3) <input checked="" type="checkbox"/> NO = H 2.2.3</p> <p>H 2.2.3 Is the wetland:</p> <p><input type="checkbox"/> within 5 mi (8km) of a brackish or salt water estuary OR</p> <p><input checked="" type="checkbox"/> within 3 mi of a large field or pasture (>40 acres) OR</p> <p><input type="checkbox"/> within 1 mi of a lake greater than 20 acres?</p> <p><input checked="" type="checkbox"/> YES = 1 point <input type="checkbox"/> NO = 0 points</p>	<p style="text-align: center;">1</p>

Total for page 2

Wetland name or number A

H 2.3 Near or adjacent to other priority habitats listed by WDFW (see new and complete descriptions of WDFW priority habitats, and the counties in which they can be found, in the PHS report <http://wdfw.wa.gov/hab/phslist.htm>)

Which of the following priority habitats are within 330ft (100m) of the wetland unit? *NOTE: the connections do not have to be relatively undisturbed.*

- Aspen Stands:** Pure or mixed stands of aspen greater than 0.4 ha (1 acre).
 - Biodiversity Areas and Corridors:** Areas of habitat that are relatively important to various species of native fish and wildlife (*full descriptions in WDFW PHS report p. 152*).
 - Herbaceous Balds:** Variable size patches of grass and forbs on shallow soils over bedrock.
 - Old-growth/Mature forests:** (Old-growth west of Cascade crest) Stands of at least 2 tree species, forming a multi-layered canopy with occasional small openings; with at least 20 trees/ha (8 trees/acre) > 81 cm (32 in) dbh or > 200 years of age. (Mature forests) Stands with average diameters exceeding 53 cm (21 in) dbh; crown cover may be less than 100%; crown cover may be less than 100%; decay, decadence, numbers of snags, and quantity of large downed material is generally less than that found in old-growth; 80 - 200 years old west of the Cascade crest.
 - Oregon white Oak:** Woodlands Stands of pure oak or oak/conifer associations where canopy coverage of the oak component is important (*full descriptions in WDFW PHS report p. 158*).
 - Riparian:** The area adjacent to aquatic systems with flowing water that contains elements of both aquatic and terrestrial ecosystems which mutually influence each other.
 - Westside Prairies:** Herbaceous, non-forested plant communities that can either take the form of a dry prairie or a wet prairie (*full descriptions in WDFW PHS report p. 161*).
 - Instream:** The combination of physical, biological, and chemical processes and conditions that interact to provide functional life history requirements for instream fish and wildlife resources.
 - Nearshore:** Relatively undisturbed nearshore habitats. These include Coastal Nearshore, Open Coast Nearshore, and Puget Sound Nearshore. (*full descriptions of habitats and the definition of relatively undisturbed are in WDFW report: pp. 167-169 and glossary in Appendix A*).
 - Caves:** A naturally occurring cavity, recess, void, or system of interconnected passages under the earth in soils, rock, ice, or other geological formations and is large enough to contain a human.
 - Cliffs:** Greater than 7.6 m (25 ft) high and occurring below 5000 ft.
 - Talus:** Homogenous areas of rock rubble ranging in average size 0.15 - 2.0 m (0.5 - 6.5 ft), composed of basalt, andesite, and/or sedimentary rock, including riprap slides and mine tailings. May be associated with cliffs.
 - Snags and Logs:** Trees are considered snags if they are dead or dying and exhibit sufficient decay characteristics to enable cavity excavation/use by wildlife. Priority snags have a diameter at breast height of > 51 cm (20 in) in western Washington and are > 2 m (6.5 ft) in height. Priority logs are > 30 cm (12 in) in diameter at the largest end, and > 6 m (20 ft) long.
 - If wetland has **3 or more** priority habitats = **4 points**
 - If wetland has **2** priority habitats = **3 points**
 - If wetland has **1** priority habitat = **1 point** No habitats = 0 points
- Note: All vegetated wetlands are by definition a priority habitat but are not included in this list. Nearby wetlands are addressed in question H 2.4)*

3

Wetland name or number A

<p>H 2.4 Wetland Landscape (<i>choose the one description of the landscape around the wetland that best fits</i>) (<i>see p. 84</i>)</p> <p><input type="checkbox"/> There are at least 3 other wetlands within ½ mile, and the connections between them are relatively undisturbed (light grazing between wetlands OK, as is lake shore with some boating, but connections should NOT be bisected by paved roads, fill, fields, or other development. points = 5</p> <p><input type="checkbox"/> The wetland is Lake-fringe on a lake with little disturbance and there are 3 other lake-fringe wetlands within ½ mile points = 5</p> <p><input checked="" type="checkbox"/> There are at least 3 other wetlands within ½ mile, BUT the connections between them are disturbed points = 3</p> <p><input type="checkbox"/> The wetland is Lake-fringe on a lake with disturbance and there are 3 other lake-fringe wetland within ½ mile points = 3</p> <p><input type="checkbox"/> There is at least 1 wetland within ½ mile. points = 2</p> <p><input type="checkbox"/> There are no wetlands within ½ mile. points = 0</p>	3
<p>H 2. TOTAL Score - opportunity for providing habitat <i>Add the scores from H2.1, H2.2, H2.3, H2.4</i></p>	8
<p>TOTAL for H 1 from page 14</p>	8
<p>Total Score for Habitat Functions – add the points for H 1, H 2 and record the result on p. 1</p>	16

Wetland name or number A

CATEGORIZATION BASED ON SPECIAL CHARACTERISTICS

Please determine if the wetland meets the attributes described below and circle the appropriate answers and Category.

Wetland Type <i>Check off any criteria that apply to the wetland. Circle the Category when the appropriate criteria are met.</i>	Category
<p>SC 1.0 Estuarine wetlands (see p. 86) Does the wetland unit meet the following criteria for Estuarine wetlands?</p> <p> <input type="checkbox"/> The dominant water regime is tidal, <input type="checkbox"/> Vegetated, and <input type="checkbox"/> With a salinity greater than 0.5 ppt. <input type="checkbox"/> YES = Go to SC 1.1 NO <input checked="" type="checkbox"/> Go to SC 2.0 </p>	
<p>SC 1.1 Is the wetland unit within a National Wildlife Refuge, National Park, National Estuary Reserve, Natural Area Preserve, State Park or Educational, Environmental, or Scientific Reserve designated under WAC 332-30-151? <input type="checkbox"/> YES = Category I <input type="checkbox"/> NO go to SC 1.2</p>	<p>Cat. I <input type="checkbox"/></p>
<p>SC 1.2 Is the wetland unit at least 1 acre in size and meets at least two of the following three conditions? <input type="checkbox"/> YES = Category I <input type="checkbox"/> NO = Category II</p> <p> <input type="checkbox"/> The wetland is relatively undisturbed (has no diking, ditching, filling, cultivation, grazing, and has less than 10% cover of non-native plant species. If the non-native <i>Spartina</i> spp. are the only species that cover more than 10% of the wetland, then the wetland should be given a dual rating (I/II). The area of <i>Spartina</i> would be rated a Category II while the relatively undisturbed upper marsh with native species would be a Category I. Do not, however, exclude the area of <i>Spartina</i> in determining the size threshold of 1 acre. <input type="checkbox"/> At least ¾ of the landward edge of the wetland has a 100 ft buffer of shrub, forest, or un-grazed or un-mowed grassland. <input type="checkbox"/> The wetland has at least 2 of the following features: tidal channels, depressions with open water, or contiguous freshwater wetlands. </p>	<p> <input type="checkbox"/> Cat. I <input type="checkbox"/> Cat. II <input type="checkbox"/> Dual rating I/II </p>

Wetland name or number A

<p>SC 2.0 Natural Heritage Wetlands (see p. 87) Natural Heritage wetlands have been identified by the Washington Natural Heritage Program/DNR as either high quality undisturbed wetlands or wetlands that support state Threatened, Endangered, or Sensitive plant species.</p> <p>SC 2.1 Is the wetland unit being rated in a Section/Township/Range that contains a Natural Heritage wetland? (<i>this question is used to screen out most sites before you need to contact WNHP/DNR</i>) S/T/R information from Appendix D <input checked="" type="checkbox"/> or accessed from WNHP/DNR web site <input type="checkbox"/></p> <p>YES <input type="checkbox"/> – contact WNHP/DNR (see p. 79) and go to SC 2.2 NO <input checked="" type="checkbox"/></p> <p>SC 2.2 Has DNR identified the wetland as a high quality undisturbed wetland or as or as a site with state threatened or endangered plant species? <input type="checkbox"/> YES = Category I NO <input checked="" type="checkbox"/> not a Heritage Wetland</p>	<p><input type="checkbox"/> Cat. I</p>
<p>SC 3.0 Bogs (see p. 87) Does the wetland unit (or any part of the unit) meet both the criteria for soils and vegetation in bogs? <i>Use the key below to identify if the wetland is a bog. If you answer yes you will still need to rate the wetland based on its functions.</i></p> <p>1. Does the unit have organic soil horizons (i.e. layers of organic soil), either peats or mucks, that compose 16 inches or more of the first 32 inches of the soil profile? (See Appendix B for a field key to identify organic soils)? Yes - go to Q. 3 <input type="checkbox"/> <input checked="" type="checkbox"/> No - go to Q. 2</p> <p>2. Does the unit have organic soils, either peats or mucks that are less than 16 inches deep over bedrock, or an impermeable hardpan such as clay or volcanic ash, or that are floating on a lake or pond? <input type="checkbox"/> Yes - go to Q. 3 <input checked="" type="checkbox"/> No - Is not a bog for purpose of rating</p> <p>3. Does the unit have more than 70% cover of mosses at ground level, AND other plants, if present, consist of the “bog” species listed in Table 3 as a significant component of the vegetation (more than 30% of the total shrub and herbaceous cover consists of species in Table 3)? <input type="checkbox"/> Yes – Is a bog for purpose of rating <input type="checkbox"/> No - go to Q. 4</p> <p>NOTE: If you are uncertain about the extent of mosses in the understory you may substitute that criterion by measuring the pH of the water that seeps into a hole dug at least 16” deep. If the pH is less than 5.0 and the “bog” plant species in Table 3 are present, the wetland is a bog.</p> <p>1. Is the unit forested (> 30% cover) with sitka spruce, subalpine fir, western red cedar, western hemlock, lodgepole pine, quaking aspen, Englemann’s spruce, or western white pine, WITH any of the species (or combination of species) on the bog species plant list in Table 3 as a significant component of the ground cover (> 30% coverage of the total shrub/herbaceous cover)?</p> <p>2. <input type="checkbox"/> YES = Category I No <input type="checkbox"/> Is not a bog for purpose of rating</p>	<p><input type="checkbox"/> Cat. I</p>

Wetland name or number A

<p>SC 4.0 Forested Wetlands (see p. 90) Does the wetland unit have at least 1 acre of forest that meet one of these criteria for the Department of Fish and Wildlife’s forests as priority habitats? <i>If you answer yes you will still need to rate the wetland based on its functions.</i></p> <p><input type="checkbox"/> Old-growth forests: (west of Cascade crest) Stands of at least two tree species, forming a multi-layered canopy with occasional small openings; with at least 8 trees/acre (20 trees/hectare) that are at least 200 years of age OR have a diameter at breast height (dbh) of 32 inches (81 cm) or more.</p> <p>NOTE: The criterion for dbh is based on measurements for upland forests. Two-hundred year old trees in wetlands will often have a smaller dbh because their growth rates are often slower. The DFW criterion is and “OR” so old-growth forests do not necessarily have to have trees of this diameter.</p> <p><input type="checkbox"/> Mature forests: (west of the Cascade Crest) Stands where the largest trees are 80 – 200 years old OR have average diameters (dbh) exceeding 21 inches (53cm); crown cover may be less than 100%; decay, decadence, numbers of snags, and quantity of large downed material is generally less than that found in old-growth.</p> <p><input type="checkbox"/> YES = Category I NO <input checked="" type="checkbox"/> not a forested wetland with special characteristics</p>	<p>Cat. I <input type="checkbox"/></p>
<p>SC 5.0 Wetlands in Coastal Lagoons (see p. 91) Does the wetland meet all of the following criteria of a wetland in a coastal lagoon?</p> <p><input type="checkbox"/> The wetland lies in a depression adjacent to marine waters that is wholly or partially separated from marine waters by sandbanks, gravel banks, shingle, or, less frequently, rocks</p> <p><input type="checkbox"/> The lagoon in which the wetland is located contains surface water that is saline or brackish (> 0.5 ppt) during most of the year in at least a portion of the lagoon (<i>needs to be measured near the bottom</i>)</p> <p><input type="checkbox"/> YES = Go to SC 5.1 NO <input checked="" type="checkbox"/> not a wetland in a coastal lagoon</p> <p>SC 5.1 Does the wetland meets all of the following three conditions?</p> <p><input type="checkbox"/> The wetland is relatively undisturbed (has no diking, ditching, filling, cultivation, grazing), and has less than 20% cover of invasive plant species (see list of invasive species on p. 74).</p> <p><input type="checkbox"/> At least ¾ of the landward edge of the wetland has a 100 ft buffer of shrub, forest, or un-grazed or un-mowed grassland.</p> <p><input type="checkbox"/> The wetland is larger than 1/10 acre (4350 square feet)</p> <p><input type="checkbox"/> YES = Category I <input type="checkbox"/> NO = Category II</p>	<p><input type="checkbox"/> Cat. I</p> <p><input type="checkbox"/> Cat. II</p>

Wetland name or number A

<p>SC 6.0 Interdunal Wetlands (<i>see p. 93</i>)</p> <p>Is the wetland unit west of the 1889 line (also called the Western Boundary of Upland Ownership or WBUO)?</p> <p><input type="checkbox"/> YES - go to SC 6.1 NO <input checked="" type="checkbox"/> not an interdunal wetland for rating</p> <p><i>If you answer yes you will still need to rate the wetland based on its functions.</i></p> <p>In practical terms that means the following geographic areas:</p> <p><input type="checkbox"/> Long Beach Peninsula- lands west of SR 103</p> <p><input type="checkbox"/> Grayland-Westport- lands west of SR 105</p> <p><input type="checkbox"/> Ocean Shores-Copalis- lands west of SR 115 and SR 109</p> <p>SC 6.1 Is the wetland one acre or larger, or is it in a mosaic of wetlands that is once acre or larger?</p> <p><input type="checkbox"/> YES = Category II <input type="checkbox"/> NO – go to SC 6.2</p> <p>SC 6.2 Is the unit between 0.1 and 1 acre, or is it in a mosaic of wetlands that is between 0.1 and 1 acre?</p> <p><input type="checkbox"/> YES = Category III</p>	<p>Cat. II <input type="checkbox"/></p> <p>Cat. III <input type="checkbox"/></p>
<p>Category of wetland based on Special Characteristics</p> <p><i>Choose the "highest" rating if wetland falls into several categories, and record on p. 1.</i></p> <p>If you answered NO for all types enter "Not Applicable" on p.1</p>	<p><input type="checkbox"/> Cat. I</p> <p><input type="checkbox"/> Cat. II</p> <p><input type="checkbox"/> Cat. III</p> <p><input checked="" type="checkbox"/> n/a</p>

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Appendix B
Wetland Determination Data Forms

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WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Region

Project/Site: Lion's Gate Estates - Phase 2 City/County: Lake Stevens / Snohomish Sampling Date: 11/9/16
 Applicant/Owner: JM1 Holdings, LLC State: WA Sampling Point: S1
 Investigator(s): NP / ED Section, Township, Range: S24, T29N, R5E
 Landform (hillslope, terrace, etc.): depression Local relief (concave, convex, none): concave Slope (%): n/a
 Subregion (LRR): LRR A Lat: 47.981493° Long: -122.118074° Datum: WGS84
 Soil Map Unit Name: Tokul gravelly medial loam, 0 to 8 percent slopes NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

VEGETATION – Use scientific names of plants.

	Absolute % Cover	Dominant Species?	Indicator Status	
Tree Stratum (Plot size: 10m x 10m)				
1. _____	_____	_____	_____	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
_____ = Total Cover	_____	_____	_____	
Sapling/Shrub Stratum (Plot size: 10m x 10m)				
1. <u>Rubus spectabilis</u>	<u>10</u>	<u>Y</u>	<u>FAC</u>	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: OBL species _____ x 1 = <u>0</u> FACW species _____ x 2 = <u>0</u> FAC species _____ x 3 = <u>0</u> FACU species _____ x 4 = <u>0</u> UPL species _____ x 5 = <u>0</u> Column Totals: <u>0</u> (A) <u>0</u> (B) Prevalence Index = B/A = _____
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
Herb Stratum (Plot size: 3m x 3m)				
1. <u>Athyrium filix-femina</u>	<u>1</u>	<u>Y</u>	<u>FAC</u>	Hydrophytic Vegetation Indicators: <input type="checkbox"/> Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Wetland Non-Vascular Plants ¹ <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
Woody Vine Stratum (Plot size: 3m x 3m)				
1. _____	_____	_____	_____	Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. _____	_____	_____	_____	
% Bare Ground in Herb Stratum <u>99</u>				
_____ = Total Cover				
_____ = Total Cover				
Remarks:				

SOIL

Sampling Point: S1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features			Loc ²	Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹			
0-15	10YR 2/1	100					sil	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	Indicators for Problematic Hydric Soils³:
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)	

2 cm Muck (A10)
 Red Parent Material (TF2)
 Very Shallow Dark Surface (TF12)
 Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):
 Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:
 Soil profile does not meet a hydric soil indicator, however it appears to be a hydric soil based on strong hydrology indicators. A depleted layer at least six inches thick likely exists below the examined profile, which would meet the A12 indicator, Thick Dark Surface.

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)	Secondary Indicators (2 or more required)
<input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> High Water Table (A2) <input checked="" type="checkbox"/> Saturation (A3) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B) <input type="checkbox"/> Salt Crust (B11) <input type="checkbox"/> Aquatic Invertebrates (B13) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A) <input type="checkbox"/> Other (Explain in Remarks)
	<input type="checkbox"/> Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input checked="" type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Raised Ant Mounds (D6) (LRR A) <input type="checkbox"/> Frost-Heave Hummocks (D7)

Field Observations:

Surface Water Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Water Table Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): 4"	
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): surface	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			

Remarks:

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Region

Project/Site: Lion's Gate Estates - Phase 2 City/County: Lake Stevens / Snohomish Sampling Date: 11/9/16
 Applicant/Owner: JM1 Holdings, LLC State: WA Sampling Point: S2
 Investigator(s): NP / ED Section, Township, Range: S24, T29N, R5E
 Landform (hillslope, terrace, etc.): terrace Local relief (concave, convex, none): concave Slope (%): 2
 Subregion (LRR): LRR A Lat: 47.981493° Long: -122.118074° Datum: WGS84
 Soil Map Unit Name: Tokul gravelly medial loam, 0 to 8 percent slopes NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks:	

VEGETATION – Use scientific names of plants.

Stratum	Plot size	Absolute % Cover	Dominant Species?	Indicator Status		
Tree Stratum (Plot size: 10m x 10m)						
1. <u>Thuja plicata</u>		<u>40</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>60</u> (A/B)	
2. <u>Acer macrophyllum</u>		<u>30</u>	<u>Y</u>	<u>FACU</u>		
3. _____		_____	_____	_____		
4. _____		_____	_____	_____		
5. _____		_____	_____	_____		
		<u>70</u>	= Total Cover		Prevalence Index worksheet: Total % Cover of: _____ Multiply by: OBL species _____ x 1 = <u>0</u> FACW species _____ x 2 = <u>0</u> FAC species _____ x 3 = <u>0</u> FACU species _____ x 4 = <u>0</u> UPL species _____ x 5 = <u>0</u> Column Totals: <u>0</u> (A) <u>0</u> (B) Prevalence Index = B/A = _____	
Sapling/Shrub Stratum (Plot size: 10m x 10m)						
1. <u>Acer circinatum</u>		<u>10</u>	<u>Y</u>	<u>FAC</u>		
2. <u>Rubus spectabilis</u>		<u>5</u>	<u>Y</u>	<u>FAC</u>		
3. _____		_____	_____	_____		
4. _____		_____	_____	_____		
5. _____		_____	_____	_____		
		<u>15</u>	= Total Cover			
Herb Stratum (Plot size: 3m x 3m)						
1. <u>Polystichum munitum</u>		<u>60</u>	<u>Y</u>	<u>FACU</u>	Hydrophytic Vegetation Indicators: <input type="checkbox"/> Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Wetland Non-Vascular Plants ¹ <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.	
2. _____		_____	_____	_____		
3. _____		_____	_____	_____		
4. _____		_____	_____	_____		
5. _____		_____	_____	_____		
6. _____		_____	_____	_____		
7. _____		_____	_____	_____		
8. _____		_____	_____	_____		
9. _____		_____	_____	_____		
10. _____		_____	_____	_____		
11. _____		_____	_____	_____		
		<u>60</u>	= Total Cover			
Woody Vine Stratum (Plot size: 3m x 3m)						
1. _____		_____	_____	_____		
2. _____		_____	_____	_____		
		<u>0</u>	= Total Cover			
% Bare Ground in Herb Stratum <u>40</u>					Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Remarks:

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Region

Project/Site: Lion's Gate Estates - Phase 2 City/County: Lake Stevens / Snohomish Sampling Date: 11/9/16
 Applicant/Owner: JM1 Holdings, LLC State: WA Sampling Point: S3
 Investigator(s): NP / ED Section, Township, Range: S24, T29N, R5E
 Landform (hillslope, terrace, etc.): terrace Local relief (concave, convex, none): concave Slope (%): 3
 Subregion (LRR): LRR A Lat: 47.981493° Long: -122.118074° Datum: WGS84
 Soil Map Unit Name: Tokul gravelly medial loam, 0 to 8 percent slopes NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks:	

VEGETATION – Use scientific names of plants.

	Absolute % Cover	Dominant Species?	Indicator Status	
Tree Stratum (Plot size: 10m x 10m)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
	<u>0</u>	= Total Cover		
Sapling/Shrub Stratum (Plot size: 10m x 10m)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
	<u>0</u>	= Total Cover		
Herb Stratum (Plot size: 3m x 3m)				
1. <u>Agrostis capillaris</u>	<u>90</u>	<u>Y</u>	<u>FAC</u>	
2. <u>Plantago lanceolata</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
3. <u>Ranunculus repens</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
4. <u>Taraxacum officinale</u>	<u>T</u>	<u>N</u>	<u>FACU</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
	<u>100</u>	= Total Cover		
Woody Vine Stratum (Plot size: 3m x 3m)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
	<u>0</u>	= Total Cover		
% Bare Ground in Herb Stratum <u>0</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 100 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by:
 OBL species _____ x 1 = 0
 FACW species _____ x 2 = 0
 FAC species _____ x 3 = 0
 FACU species _____ x 4 = 0
 UPL species _____ x 5 = 0
 Column Totals: 0 (A) 0 (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 Rapid Test for Hydrophytic Vegetation
 Dominance Test is >50%
 Prevalence Index is ≤3.0¹
 Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Wetland Non-Vascular Plants¹
 Problematic Hydrophytic Vegetation¹ (Explain)
¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

SOIL

Sampling Point: S3

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features			Loc ²	Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹			
0-9	10YR 3/2	100					sl	
9-15	10YR 3/3	100					sl	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.) <input type="checkbox"/> Histosol (A1) <input type="checkbox"/> Histic Epipedon (A2) <input type="checkbox"/> Black Histic (A3) <input type="checkbox"/> Hydrogen Sulfide (A4) <input type="checkbox"/> Depleted Below Dark Surface (A11) <input type="checkbox"/> Thick Dark Surface (A12) <input type="checkbox"/> Sandy Mucky Mineral (S1) <input type="checkbox"/> Sandy Gleyed Matrix (S4)	Indicators for Problematic Hydric Soils³: <input type="checkbox"/> 2 cm Muck (A10) <input type="checkbox"/> Red Parent Material (TF2) <input type="checkbox"/> Very Shallow Dark Surface (TF12) <input type="checkbox"/> Other (Explain in Remarks)
--	---

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present): Type: _____ Depth (inches): _____	Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
--	---

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:	
Primary Indicators (minimum of one required; check all that apply)	Secondary Indicators (2 or more required)
<input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B) <input type="checkbox"/> Salt Crust (B11) <input type="checkbox"/> Aquatic Invertebrates (B13) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A) <input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Raised Ant Mounds (D6) (LRR A) <input type="checkbox"/> Frost-Heave Hummocks (D7)	
Field Observations: Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Saturation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): 15" (includes capillary fringe)	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks:	

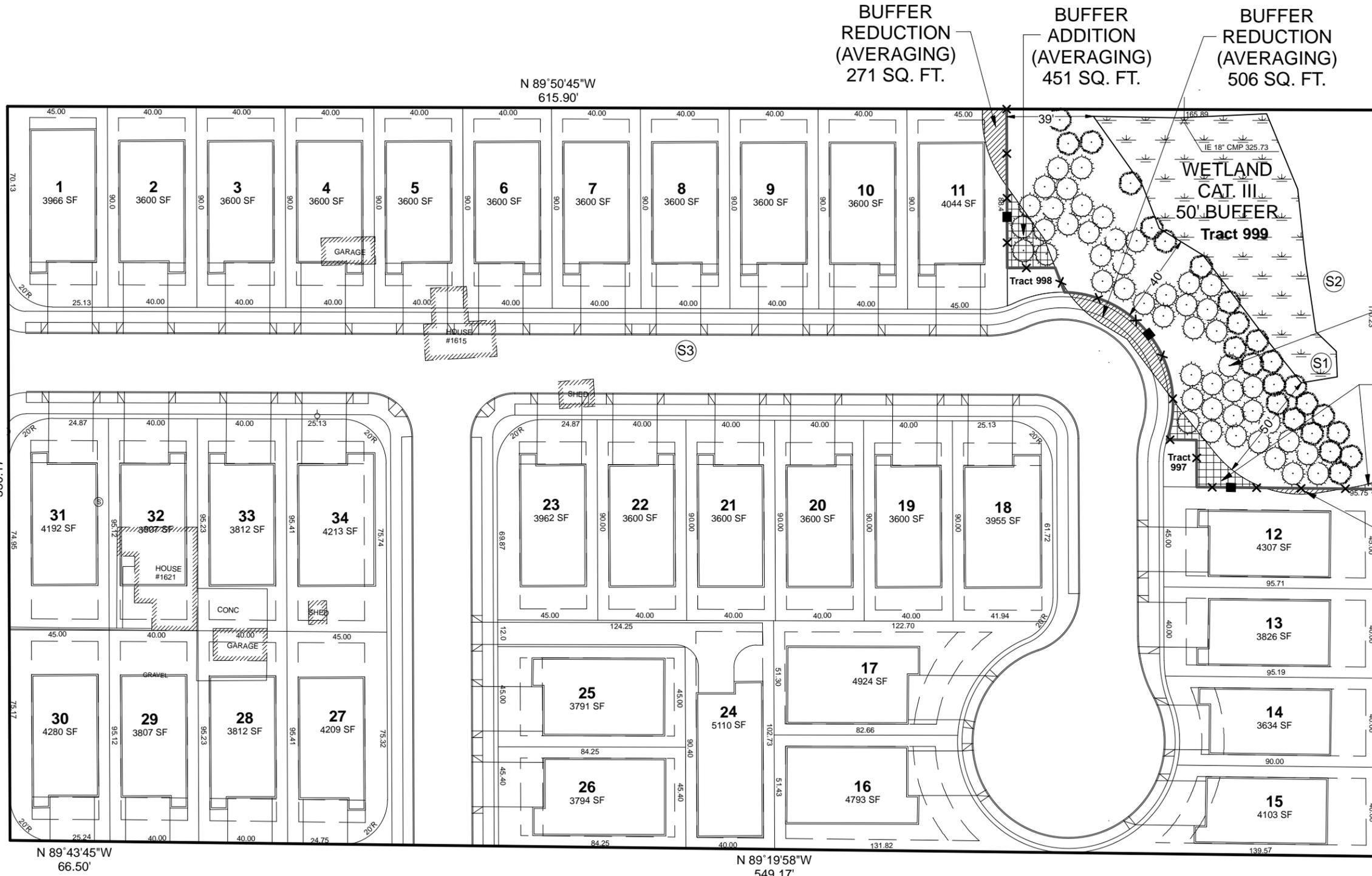
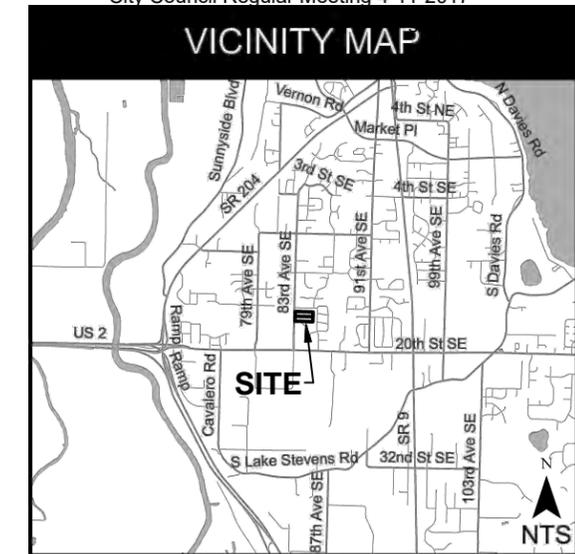
Appendix C
Critical Area Study and Buffer Mitigation Map

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CRITICAL AREA STUDY & BUFFER MITIGATION MAP

LYON'S GATE ESTATES - PHASE 2

PORTION OF SECTION 24, TOWNSHIP 29N, RANGE 5E, W.M.



83RD AVENUE SE

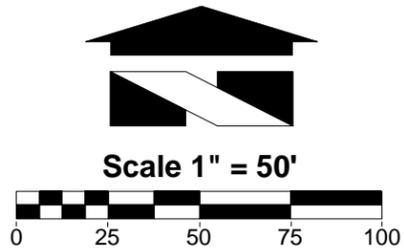
N 00°12'59"W
330.17'

N 89°43'45"W
66.50'

N 89°19'58"W
549.17'

N 00°10'07"W
335.23'

LEGEND	
	WETLAND
	BUFFER AVERAGING (ADDITION)
	BUFFER AVERAGING (REDUCTION)
	FINAL BUFFER/FENCE LINE
	CRITICAL AREA SIGNS
	DATA SITE



BUFFER AVERAGING	
PROPOSED BUFFER REDUCTION	837 SQ. FT.
PROPOSED BUFFER ADDITION	912 SQ. FT.
REQUIRED RATIO	1:1
PROPOSED RATIO	1.09:1

Wetland Resources, Inc.
Delineation / Mitigation / Restoration / Habitat Creation / Permit Assistance

9505 19th Avenue S.E., Suite 106 Everett, Washington 98208
Phone: (425) 337-3174
Fax: (425) 337-3045
Email: mailbox@wetlandresources.com

**CRITICAL AREA STUDY
& BUFFER MITIGATION MAP**

LYON'S GATE ESTATES - PHASE 2

JM1 Holdings, LLC
Attn: Tim Kaintz
PO Box 610
Lake Stevens, WA 98258

Sheet 1/1
WRI Job#: 16322
Drawn by: JL
Date: 12.07.2016



Geotechnical Engineering
Geology
Environmental Scientists
Construction Monitoring



**REVISED
GEOTECHNICAL ENGINEERING STUDY
PROPOSED RESIDENTIAL
DEVELOPMENT LYONS GATE II
1615 AND 1621 - 83RD AVENUE
SOUTHEAST
LAKE STEVENS, WASHINGTON**

ES-4863.01

PREPARED FOR

ARCADIA HOMES, LLC

**December 8, 2016
Revised January 10, 2017**

**Adam Z. Shier, G.I.T.
Staff Geologist**



**Henry T. Wright, P.E.
Project Engineer**

**Kyle R. Campbell, P.E.
Principal**

**REVISED
GEOTECHNICAL ENGINEERING STUDY
PROPOSED RESIDENTIAL DEVELOPMENT
LYONS GATE II
1615 AND 1621 – 83RD AVENUE SOUTHEAST
LAKE STEVENS, WASHINGTON**

ES-4863.01

**Earth Solutions NW, LLC
1805 - 136th Place Northeast, Suite 201
Bellevue, Washington 98005
Phone: 425-449-4704 Fax: 425-449-4711**

Important Information About Your Geotechnical Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

The following information is provided to help you manage your risks.

Geotechnical Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical engineering study conducted for a civil engineer may not fulfill the needs of a construction contractor or even another civil engineer. Because each geotechnical engineering study is unique, each geotechnical engineering report is unique, prepared *solely* for the client. No one except you should rely on your geotechnical engineering report without first conferring with the geotechnical engineer who prepared it. *And no one — not even you — should apply the report for any purpose or project except the one originally contemplated.*

Read the Full Report

Serious problems have occurred because those relying on a geotechnical engineering report did not read it all. Do not rely on an executive summary. Do not read selected elements only.

A Geotechnical Engineering Report Is Based on A Unique Set of Project-Specific Factors

Geotechnical engineers consider a number of unique, project-specific factors when establishing the scope of a study. Typical factors include: the client's goals, objectives, and risk management preferences; the general nature of the structure involved, its size, and configuration; the location of the structure on the site; and other planned or existing site improvements, such as access roads, parking lots, and underground utilities. Unless the geotechnical engineer who conducted the study specifically indicates otherwise, do not rely on a geotechnical engineering report that was:

- not prepared for you,
- not prepared for your project,
- not prepared for the specific site explored, or
- completed before important project changes were made.

Typical changes that can erode the reliability of an existing geotechnical engineering report include those that affect:

- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light industrial plant to a refrigerated warehouse,

- elevation, configuration, location, orientation, or weight of the proposed structure,
- composition of the design team, or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes—even minor ones—and request an assessment of their impact. *Geotechnical engineers cannot accept responsibility or liability for problems that occur because their reports do not consider developments of which they were not informed.*

Subsurface Conditions Can Change

A geotechnical engineering report is based on conditions that existed at the time the study was performed. *Do not rely on a geotechnical engineering report* whose adequacy may have been affected by: the passage of time; by man-made events, such as construction on or adjacent to the site; or by natural events, such as floods, earthquakes, or groundwater fluctuations. *Always* contact the geotechnical engineer before applying the report to determine if it is still reliable. A minor amount of additional testing or analysis could prevent major problems.

Most Geotechnical Findings Are Professional Opinions

Site exploration identifies subsurface conditions only at those points where subsurface tests are conducted or samples are taken. Geotechnical engineers review field and laboratory data and then apply their professional judgment to render an opinion about subsurface conditions throughout the site. Actual subsurface conditions may differ—sometimes significantly—from those indicated in your report. Retaining the geotechnical engineer who developed your report to provide construction observation is the most effective method of managing the risks associated with unanticipated conditions.

A Report's Recommendations Are *Not* Final

Do not overrely on the construction recommendations included in your report. *Those recommendations are not final*, because geotechnical engineers develop them principally from judgment and opinion. Geotechnical engineers can finalize their recommendations only by observing actual

subsurface conditions revealed during construction. *The geotechnical engineer who developed your report cannot assume responsibility or liability for the report's recommendations if that engineer does not perform construction observation.*

A Geotechnical Engineering Report Is Subject to Misinterpretation

Other design team members' misinterpretation of geotechnical engineering reports has resulted in costly problems. Lower that risk by having your geotechnical engineer confer with appropriate members of the design team after submitting the report. Also retain your geotechnical engineer to review pertinent elements of the design team's plans and specifications. Contractors can also misinterpret a geotechnical engineering report. Reduce that risk by having your geotechnical engineer participate in prebid and preconstruction conferences, and by providing construction observation.

Do Not Redraw the Engineer's Logs

Geotechnical engineers prepare final boring and testing logs based upon their interpretation of field logs and laboratory data. To prevent errors or omissions, the logs included in a geotechnical engineering report should *never* be redrawn for inclusion in architectural or other design drawings. Only photographic or electronic reproduction is acceptable, *but recognize that separating logs from the report can elevate risk.*

Give Contractors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can make contractors liable for unanticipated subsurface conditions by limiting what they provide for bid preparation. To help prevent costly problems, give contractors the complete geotechnical engineering report, *but* preface it with a clearly written letter of transmittal. In that letter, advise contractors that the report was not prepared for purposes of bid development and that the report's accuracy is limited; encourage them to confer with the geotechnical engineer who prepared the report (a modest fee may be required) and/or to conduct additional study to obtain the specific types of information they need or prefer. A prebid conference can also be valuable. *Be sure contractors have sufficient time* to perform additional study. Only then might you be in a position to give contractors the best information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions.

Read Responsibility Provisions Closely

Some clients, design professionals, and contractors do not recognize that geotechnical engineering is far less exact than other engineering disciplines. This lack of understanding has created unrealistic expectations that

have led to disappointments, claims, and disputes. To help reduce the risk of such outcomes, geotechnical engineers commonly include a variety of explanatory provisions in their reports. Sometimes labeled "limitations" many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely.* Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The equipment, techniques, and personnel used to perform a *geoenvironmental* study differ significantly from those used to perform a *geotechnical* study. For that reason, a geotechnical engineering report does not usually relate any geoenvironmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated environmental problems have led to numerous project failures.* If you have not yet obtained your own geoenvironmental information, ask your geotechnical consultant for risk management guidance. *Do not rely on an environmental report prepared for someone else.*

Obtain Professional Assistance To Deal with Mold

Diverse strategies can be applied during building design, construction, operation, and maintenance to prevent significant amounts of mold from growing on indoor surfaces. To be effective, all such strategies should be devised for the *express purpose* of mold prevention, integrated into a comprehensive plan, and executed with diligent oversight by a professional mold prevention consultant. Because just a small amount of water or moisture can lead to the development of severe mold infestations, a number of mold prevention strategies focus on keeping building surfaces dry. While groundwater, water infiltration, and similar issues may have been addressed as part of the geotechnical engineering study whose findings are conveyed in this report, the geotechnical engineer in charge of this project is not a mold prevention consultant; ***none of the services performed in connection with the geotechnical engineer's study were designed or conducted for the purpose of mold prevention. Proper implementation of the recommendations conveyed in this report will not of itself be sufficient to prevent mold from growing in or on the structure involved.***

Rely on Your ASFE-Member Geotechnical Engineer for Additional Assistance

Membership in ASFE/The Best People on Earth exposes geotechnical engineers to a wide array of risk management techniques that can be of genuine benefit for everyone involved with a construction project. Confer with you ASFE-member geotechnical engineer for more information.



8811 Colesville Road/Suite G106, Silver Spring, MD 20910
Telephone: 301/565-2733 Facsimile: 301/589-2017
e-mail: info@asfe.org www.asfe.org

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December 8, 2016
Revised January 10, 2017
ES-4863.01

Earth Solutions NW LLC

- Geotechnical Engineering
- Construction Monitoring
- Environmental Sciences

Arcadia Homes, LLC
PO Box 610
Lake Stevens, Washington 98258

Attention: Mr. Tim Kaintz

Dear Mr. Kaintz:

Earth Solutions NW, LLC (ESNW) is pleased to present this report titled "Revised Geotechnical Engineering Study, Proposed Residential Development, Lyons Gate II, 1615 and 1621 – 83rd Avenue Southeast, Lake Stevens, Washington". Based on the results of our study, the proposed residential development is feasible from a geotechnical standpoint. This report has been revised per City of Lake Stevens review comments.

Based on the conditions observed during our fieldwork, the subject site is underlain primarily by native soils consisting of medium dense to very dense glacial till deposits. Based on the results of our study, the proposed structures can be supported on conventional spread and continuous foundations bearing on undisturbed competent native soil, recompacted native soil, or new structural fill. We anticipate competent native soil suitable for support of foundations to be encountered beginning at depths of about one to four feet below existing grades across the majority of the site.

This report provides recommendations for foundation subgrade preparation, foundation and retaining wall design parameters, drainage, the suitability of the on-site soils for use as structural fill, and other geotechnical recommendations.

The opportunity to be of service to you is appreciated. If you have any questions regarding the content of this geotechnical engineering study, please call.

Sincerely,

EARTH SOLUTIONS NW, LLC

Adam Z. Shier, G.I.T.
Staff Geologist

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Appendix B	Laboratory Test Results Grain Size Distribution

**REVISED
GEOTECHNICAL ENGINEERING STUDY
PROPOSED RESIDENTIAL DEVELOPMENT
LYONS GATE II
1615 AND 1621 – 83RD AVENUE SOUTHEAST
LAKE STEVENS, WASHINGTON**

ES-4863.01

INTRODUCTION

General

This geotechnical engineering study was prepared for the proposed residential development to be constructed at 1615 and 1621 – 83rd Avenue Southeast in Lake Stevens, Washington. To complete the scope of services detailed in our proposal PES-4863.01 dated November 15, 2016, we performed the following:

- Subsurface exploration and characterization of soil and groundwater conditions by excavating a series of test pits throughout the subject site;
- Laboratory testing of soil samples obtained during subsurface exploration;
- Engineering analyses and recommendations for the proposed development, and;
- Preparation of this report.

The following documents and/or resources were reviewed as part of our report preparation:

- Preliminary Site Layout, prepared by Sound Design Engineering, Inc., dated November 3, 2016;
- Geologic Map of the Snohomish Quadrangle, Snohomish County, Washington, compiled by James P. Minard, dated 1985;
- Lake Stevens Municipal Code;
- Landslide, Erosion, and Volcanic Hazards Map prepared for Snohomish County, Washington, dated October 1, 2007;
- Web Soil Survey (WSS) online resource maintained by the Natural Resources Conservation Service under the United States Department of Agriculture, and;
- 2005 State Department of Ecology Storm Water Management Manual for Western Washington.

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December 8, 2016
Revised January 10, 2017

Project Description

Based on the referenced preliminary site layout, the site will be developed with 34 residential lots, a stormwater detention vault, and access roadways. We anticipate mass grading for the project will consist of cuts and fills of up to two to four feet; modular block walls and/or rockeries may be constructed to accommodate proposed site grading. Site improvements will also include underground utility installations.

At the time this report was prepared, specific building load values were not available. However, we anticipate the proposed residential structures will consist of relatively lightly-loaded wood framing supported on conventional foundations. Based on our experience with similar developments, we estimate wall loads on the order of two kips per linear foot and slab-on-grade loading of 150 pounds per square foot (psf).

If the above design assumptions are incorrect or change, ESNW should be contacted to review the recommendations in this report. ESNW should review the final design to verify the geotechnical recommendations provided in this report have been incorporated into the plans.

SITE CONDITIONS

Surface

The subject site is located at 1615 and 1621 – 83rd Avenue Southeast in Lake Stevens, Washington, as illustrated on the Vicinity Map (Plate 1). The site consists of two residential tax parcels (Snohomish County parcel numbers 29052400300500 and -0600) totaling approximately 5.0 acres of land area. The site is currently occupied by multiple single-family residential structures and associated improvements. The site topography gently descends to the west. The Test Pit Location Plan (Plate 2) illustrates the approximate limits and preliminary layout of the property.

Subsurface

As part of the subsurface exploration, seven test pits were excavated on accessible portions of the site for the purpose of assessing the soil and groundwater conditions using an excavator and operator provided by the client. The test pits were advanced to depths of approximately seven to nine feet below existing grades. Please refer to the test pit logs provided in Appendix A for a more detailed description of the subsurface conditions.

Topsoil was observed extending to depths of approximately 4 to 12 inches below existing grades with an average depth of approximately 8 inches. The topsoil thickness is variable and vegetative roots often extend below the topsoil zone into the underlying weathered native soil. The topsoil was characterized by dark brown color and fine organic material.

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Underlying the topsoil, native soil consisting of silty sand with gravel (Unified Soil Classification System: SM) and silt (USCS: ML) glacial till deposits was observed. The native soil was generally observed to be in a medium dense condition starting at about one to four feet below existing grades. The glacial till soil was generally observed to be in the dense and unweathered condition beginning at approximately one to four feet below existing grades. Overall soil relative density increased with depth.

Geologic Setting

Geologic mapping of the area indicates the subject site is underlain by glacial till deposits (Qvt) with recessional outwash deposits (Qvr) mapped to the east of the site and advance outwash deposits (Qva) mapped to the southwest of the site. Soil conditions observed at the test pit locations were generally consistent with glacial till deposits.

The referenced WSS resource identifies Tokul gravelly medial loam soils across the site. The Tokul series formed in glacial till plains and hill slopes. The soil conditions observed at the test pit locations were generally consistent with the soils mapping.

The native till soil conditions observed at the test pit locations are generally consistent with hydrologic group C soils.

Groundwater

Groundwater seepage was encountered at the time of our subsurface exploration at test pit locations TP-1 through TP-4 between depths of one to four feet below existing grades. The presence of groundwater seepage should be expected in excavations, especially in a perched condition at the contact between the weathered till and unweathered till soils. Groundwater seepage rates and elevations fluctuate depending on many factors, including precipitation duration and intensity, the time of year, and soil conditions. In general, groundwater elevations and flow rates are higher during the winter, spring and early summer months.

GEOLOGICALLY HAZARDOUS AREAS ASSESSMENT

In completion of this geotechnical engineering study, we reviewed the geologically hazardous areas section of the Lake Stevens Municipal Code and the referenced map resource depicting geologically hazardous areas throughout the project area. Based on the results of our study, no geologically hazardous areas are located within or adjacent to the subject property.

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DISCUSSION AND RECOMMENDATIONS

General

Based on the results of our study, the proposed structures can be supported on conventional spread and continuous foundations bearing on undisturbed competent native soil, recompacted native soil, or new structural fill. Competent soils suitable for support of foundations should be encountered beginning at depths of about one to four feet below existing grades across the majority of the site. Slab-on-grade floors should be supported on dense native soil, recompacted native soil, or new structural fill. Organic material exposed at subgrade elevations must be removed below design elevation and grades restored with structural fill. Where loose, organic or other unsuitable materials are encountered at or below the footing subgrade elevation, the material should be removed and replaced with structural fill, as necessary.

This study has been prepared for the exclusive use of Arcadia Homes, LLC and their representatives. No warranty, expressed or implied, is made. This study has been prepared in a manner consistent with the level of care and skill ordinarily exercised by other members of the profession currently practicing under similar conditions in this area.

Site Preparation and Earthwork

Based on existing topography, we anticipate mass grading for the project will consist of cuts and fills of two to four feet. Once the existing structures are demolished, the site is cleared, and the temporary erosion control measures have been installed, the site can be stripped and grading operations can commence. Voids remaining after demolition of the existing structures should be restored with structural fill.

Temporary Erosion Control

Temporary construction entrances and drive lanes, consisting of at least one foot of quarry spalls can be considered in order to minimize off-site soil tracking and to provide a temporary road surface. Temporary slopes and stockpiles should be covered when not in use. Silt fencing should be installed along the margins of the property. Erosion control measures should conform to the Washington State Department of Ecology (DOE) and Lake Stevens standards.

In-Situ Soils

The majority of the soils encountered during our subsurface exploration have a high sensitivity to moisture and were generally in a moist condition at the time of the exploration on November 18, 2016. The soils anticipated to be exposed at this site will degrade rapidly if exposed to moisture. In general, soils encountered during site excavations that are excessively over the optimum moisture content will require aeration or treatment prior to placement and compaction. Conversely, soils that are substantially below the optimum moisture content will require moisture conditioning through the addition of water prior to use as structural fill. An ESNW representative should determine the suitability of in-situ soils for use as structural fill at the time of construction.

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Wet Season Grading

If grading takes place during the wetter, winter or spring months, a contingency in the project budget should be included to allow for export of native soil and/or existing fill and import of structural fill as described below.

Building and Pavement Subgrade Preparation

Subgrade conditions expected to be exposed throughout the majority of the proposed building and pavement areas will likely be comprised of native silty sand and silt glacial till soils. The glacial till soils will generally be suitable for subgrade support conditions if protected from wet weather. The soils exposed throughout subgrade areas should be confirmed to be competent prior to constructing the foundation, slab, and pavement elements.

The subgrade throughout pavement areas should be compacted as necessary and exhibit a firm and unyielding condition when subjected to proofrolling with a loaded dump truck. Structural fill soils placed throughout foundation, slab, and pavement areas should be placed over a firm base. Loose or otherwise unsuitable areas of native soil exposed at subgrade elevations should be compacted to structural fill requirements or overexcavated and replaced with a suitable structural fill material. Where structural fill soils are used to construct foundation subgrade areas, the soil should be compacted to the requirements of structural fill described in the following section. Foundation subgrade areas should be protected from disturbance, construction traffic, and excessive moisture. Where instability develops below structural fill areas, use of a woven geotextile below the structural fill areas may be required. A representative of ESNW should observe excavations and structural fill placement in foundation, slab, and pavement areas, and provide supplemental recommendations, as necessary.

Structural Fill

Structural fill is defined as compacted soil placed in foundation, slab-on-grade, and roadway areas. Fills placed to construct permanent slopes and throughout retaining wall and utility trench backfill areas are also considered structural fill. Soils placed in structural areas should be placed in loose lifts of 12 inches or less and compacted to a relative compaction of 95 percent, based on the laboratory maximum dry density as determined by the Modified Proctor Method (ASTM D-1557). For soil placed in utility trenches underlying structural areas, compaction requirements are dictated by the local city, county, or utility district, and in general are specified as 95 percent relative compaction.

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Excavations and Slopes

The Federal Occupation Safety and Health Administration (OSHA) and the Washington Industrial Safety and Health Act (WISHA) provide soil classification in terms of temporary slope inclinations. Based on the soil conditions encountered at the test pit locations, the weathered native soils encountered in the upper approximately one to four feet of the test pit locations and where fill and/or groundwater seepage is exposed are classified as Type C by OSHA/WISHA. Temporary slopes over four feet in height in Type C soils must be sloped no steeper than 1.5H:1V (Horizontal:Vertical). Dense to very dense unweathered native glacial till soils encountered below about one to four feet where no groundwater seepage is exposed would be classified as Type A by OSHA/WISHA. Temporary slopes over four feet in height in Type A soils must be sloped no steeper than 0.75H:1V. The presence of perched groundwater may cause caving of the temporary slopes due to hydrostatic pressure. ESNW should observe site excavations to confirm the soil type and allowable slope inclination are appropriate for the soil exposed by the excavation. If the recommended temporary slope inclination cannot be achieved, temporary shoring may be necessary to support excavations.

Permanent slopes should maintain a gradient of 2H:1V, or flatter, and should be planted with vegetation to enhance stability and to minimize erosion. A representative of ESNW should observe temporary and permanent slopes to confirm the slope inclinations are suitable for the exposed soil conditions, and to provide additional excavation and slope recommendations, as necessary.

Foundations

Based on the results of our study, the proposed residential structures can be supported on conventional spread and continuous footings bearing on undisturbed competent native soil, recompacted native soil, or new structural fill. Existing fill located beneath building foundations should be recompacted to the specifications of structural fill detailed in this report or removed and the subgrade restored with structural fill. Based on the soil conditions encountered at the test sites, competent native soils suitable for support of foundations should be encountered beginning at depths of about one to four feet below existing grades across the majority of the site. Where loose or unsuitable soil conditions are observed at foundation subgrade elevations, compaction of the soils to the specifications of structural fill, or overexcavation and replacement with granular structural fill will be necessary. Organic material exposed at foundation subgrade elevations must be removed and grades restored with structural fill.

Provided the structures will be supported as described above, the following parameters can be used for design of the new foundations:

- Allowable soil bearing capacity 2,500 psf
- Passive earth pressure 300 pcf (equivalent fluid)
- Coefficient of friction 0.40

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A one-third increase in the allowable soil bearing capacity can be assumed for short-term wind and seismic loading conditions.

With structural loading as expected, total settlement in the range of one inch is anticipated, with differential settlement of about one-half inch. The majority of the settlements should occur during construction, as dead loads are applied.

Seismic Considerations

The 2012 IBC recognizes ASCE for seismic site class definitions. If the project will be permitted under the 2012 IBC, in accordance with Table 20.3-1 of ASCE, Minimum Design Loads for Buildings and Other Structures, Site Class D, should be used for design.

In our opinion, the site is not susceptible to liquefaction. The soil relative density and the absence of an established shallow groundwater table are the primary bases for this opinion.

Slab-On-Grade Floors

Slab-on-grade floors should be supported on a firm and unyielding subgrade consisting of competent native soil or at least 12 inches of new structural fill. Unstable or yielding areas of the subgrade should be recompacted or overexcavated and replaced with suitable structural fill prior to construction of the slab. A capillary break consisting of a minimum of four inches of free-draining crushed rock or gravel should be placed below the slab. The free-draining material should have a fines content of 5 percent or less defined as the percent passing the Number 200 sieve, based on the minus three-quarters inch fraction. In areas where slab moisture is undesirable, installation of a vapor barrier below the slab should be considered. If used, the vapor barrier should consist of a material specifically designed to function as a vapor barrier and should be installed in accordance with the manufacturer's specifications.

Retaining Walls

Retaining walls must be designed to resist earth pressures and applicable surcharge loads. The following parameters can be used for retaining wall design:

- Active earth pressure (unrestrained condition) 35 pcf
- At-rest earth pressure (restrained condition) 50 pcf
- Traffic surcharge (passenger vehicles) 70 psf (rectangular distribution)
- Passive earth pressure 300 pcf
- Coefficient of friction 0.40
- Seismic surcharge 6H*

*Where H equals the retained height

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Additional surcharge loading from adjacent foundations, sloped backfill, or other loads should be included in the retaining wall design. Drainage should be provided behind retaining walls such that hydrostatic pressures do not develop. If drainage is not provided, hydrostatic pressures should be included in the wall design.

Retaining walls should be backfilled with free-draining material that extends along the height of the wall, and a distance of at least 18 inches behind the wall. The upper one foot of the wall backfill can consist of a less permeable soil, if desired. A perforated drain pipe should be placed along the base of the wall, and connected to an approved discharge location. A typical retaining wall drainage detail is provided on Plate 3.

Drainage

Groundwater seepage was observed in a perched condition during the fieldwork (November 2016) at test pit locations TP-1 through TP-4 between depths of one to four feet below existing grades. Localized zones of seepage should be expected within site excavations, particularly during winter, spring, and early summer months. Temporary measures to control surface water runoff and groundwater during construction would likely involve interceptor trenches and sumps. ESNW should be consulted during preliminary grading to identify areas of seepage and to provide recommendations to reduce the potential for instability related to seepage effects.

Surface grades must be designed to direct water away from buildings. The grade adjacent to buildings should be sloped away from the buildings at a gradient of at least 2 percent for a horizontal distance of at least four feet and up to ten feet (as building and property setbacks allow). In our opinion, perimeter footing drains should be installed at or below the invert of the building footings. A typical footing drain detail is provided on Plate 4 of this report. If footing drains are not installed, we recommend backfilling footings with a relatively impermeable soil.

Infiltration Evaluation

The unweathered glacial till soil deposits observed at relatively shallow depths generally exhibit poor soil infiltration characteristics. Based on the observed shallow depth to dense unweathered glacial till deposits, we do not recommend utilizing infiltration systems such as trenches, dry wells, infiltration ponds, bioretention facilities, or perforated stub outs for the proposed development.

Stormwater Vault Design

We understand a stormwater vault will be constructed near the southwest site corner. Vault foundations should be supported on competent native soil or crushed rock placed atop competent native soil. Final stormwater vault designs must incorporate adequate buffer space from property boundaries such that temporary excavations to construct the vault structure can be successfully completed. Perimeter drains should be installed around the vault and conveyed to an approved discharge point. The presence of perched groundwater seepage should be anticipated during excavation activities for the vault.

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The following parameters can be used for stormwater vault design:

- Allowable soil bearing capacity (dense native soil) 5,000 psf
- Active earth pressure (unrestrained) 35 pcf
- Active earth pressure (unrestrained, hydrostatic) 80 pcf
- At-rest earth pressure (restrained) 50 pcf
- At-rest earth pressure (restrained, hydrostatic) 100 pcf
- Coefficient of friction 0.40
- Passive earth pressure 300 pcf
- Seismic surcharge 6H*

*Where H equals the retained height

Vault retaining walls should be backfilled with a minimum of 18 inches of free-draining material or suitable sheet drainage that extends along the height of the walls. The upper one foot of the wall backfill can consist of a less permeable soil, if desired. A perforated drain pipe should be placed along the base of the wall and connected to an approved discharge location. If the elevation of the vault bottom is such that gravity flow to an outlet is not possible, the portion of the vault below the drain should be designed to include hydrostatic pressure. Design values accounting for hydrostatic pressure are included above.

ESNW should observe grading operations for the vault and the subgrade conditions prior to concrete forming and pouring to confirm conditions are as anticipated, and to provide supplemental recommendations as necessary. Additionally, ESNW should be contacted to review final vault designs to confirm that appropriate geotechnical parameters have been incorporated.

Utility Support and Trench Backfill

In our opinion, the soils observed at the test pit locations are generally suitable for support of utilities. If existing fill is exposed at the bottom of utility trench excavations, the fill should be either be compacted in place or overexcavated and replaced with structural fill. In general, the soils observed at the test pit locations should be suitable for use as structural backfill in the utility trench excavations, provided the soil is at or near the optimum moisture content at the time of placement and compaction. Moisture conditioning of the soils may be necessary at some locations prior to use as structural fill. Utility trench backfill should be placed and compacted to the specifications of structural fill provided in this report, or to the applicable requirements of presiding jurisdiction.

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December 8, 2016
Revised January 10, 2017

Pavement Sections

The performance of site pavements is largely related to the condition of the underlying subgrade. To ensure adequate pavement performance, the subgrade should be in a firm and unyielding condition when subjected to proofrolling with a loaded dump truck. Structural fill in pavement areas should be compacted to the specifications detailed in the *Site Preparation and Earthwork* section of this report. It is possible that soft, wet, or otherwise unsuitable subgrade areas may still exist after base grading activities. Areas of unsuitable or yielding subgrade conditions may require remedial measures such as overexcavation and replacement with structural fill or thicker crushed rock sections prior to pavement. Cement treatment of the subgrade soil can also be considered for stabilizing pavement subgrade areas.

For relatively lightly loaded pavements subjected to automobiles and occasional truck traffic, the following sections can be considered for preliminary design:

- Two inches of hot mix asphalt (HMA) placed over four inches of crushed rock base (CRB), or;
- Two inches of HMA placed over three inches of asphalt treated base (ATB).

The HMA, CRB and ATB materials should conform to WSDOT specifications. Lake Stevens minimum pavement requirements supercede our recommendations and may require thicker pavement sections.

LIMITATIONS

The recommendations and conclusions provided in this geotechnical engineering study are professional opinions consistent with the level of care and skill that is typical of other members in the profession currently practicing under similar conditions in this area. A warranty is not expressed or implied. Variations in the soil and groundwater conditions observed at the test pit locations may exist, and may not become evident until construction. ESNW should reevaluate the conclusions in this geotechnical engineering study if variations are encountered.

Additional Services

ESNW should have an opportunity to review the final design with respect to the geotechnical recommendations provided in this report. ESNW should also be retained to provide testing and consultation services during construction.



Reference:
 Snohomish County, Washington
 Map 397
 By The Thomas Guide
 Rand McNally
 32nd Edition



NOTE: This plate may contain areas of color. ESNW cannot be responsible for any subsequent misinterpretation of the information resulting from black & white reproductions of this plate.

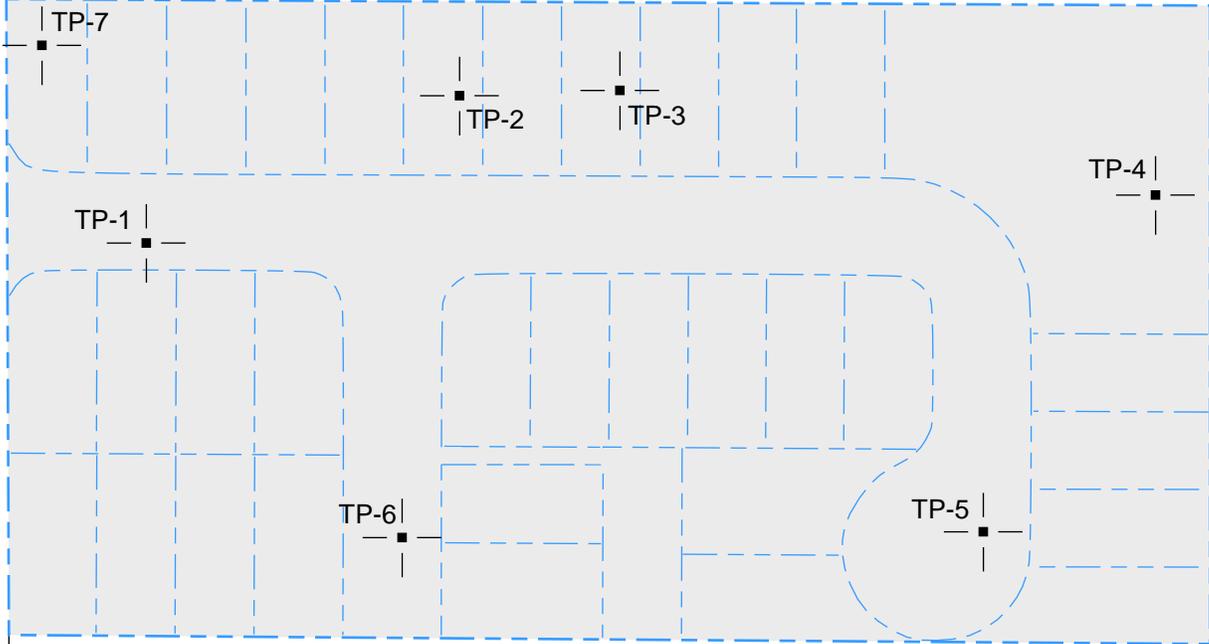


Earth Solutions NW LLC
 Geotechnical Engineering, Construction Monitoring
 and Environmental Sciences

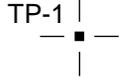
Vicinity Map
 Lyons Gate II
 Lake Stevens, Washington

Drwn. MRS	Date 01/11/2017	Proj. No. 4863.01
Checked AZS	Date Jan. 2017	Plate 1

83RD AVE. S.E.



LEGEND

- 
 TP-1 | Approximate Location of ESNW Test Pit, Proj. No. ES-4863.01, Nov. 2016
- 
 Subject Site

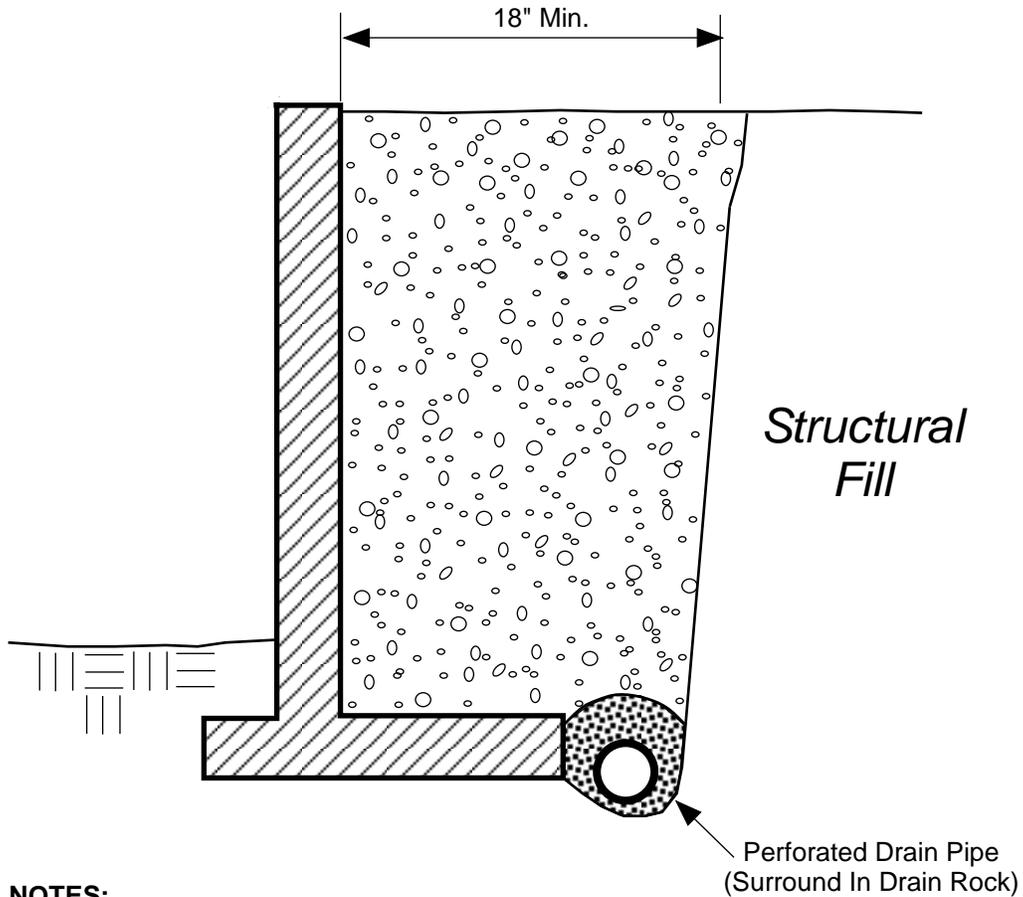


NOT - TO - SCALE

NOTE: The graphics shown on this plate are not intended for design purposes or precise scale measurements, but only to illustrate the approximate test locations relative to the approximate locations of existing and / or proposed site features. The information illustrated is largely based on data provided by the client at the time of our study. ESNW cannot be responsible for subsequent design changes or interpretation of the data by others.

NOTE: This plate may contain areas of color. ESNW cannot be responsible for any subsequent misinterpretation of the information resulting from black & white reproductions of this plate.

		Earth Solutions NW LLC Geotechnical Engineering, Construction Monitoring and Environmental Sciences	
Test Pit Location Plan Lyons Gate II Lake Stevens, Washington			
Drwn.	MRS	Date	01/11/2017
Proj. No.	4863.01		
Checked	AZS	Date	Jan. 2017
Plate	2		

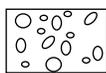


NOTES:

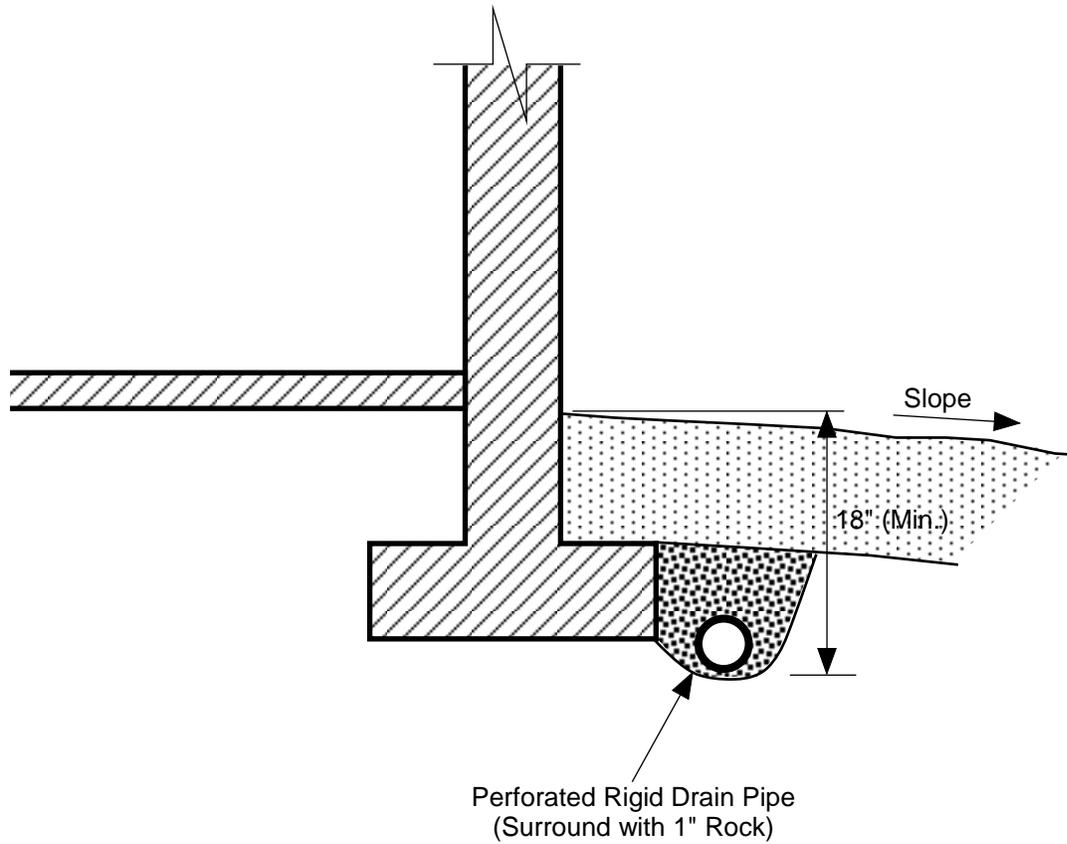
- Free Draining Backfill should consist of soil having less than 5 percent fines. Percent passing #4 should be 25 to 75 percent.
- Sheet Drain may be feasible in lieu of Free Draining Backfill, per ESNW recommendations.
- Drain Pipe should consist of perforated, rigid PVC Pipe surrounded with 1" Drain Rock.

SCHMATIC ONLY - NOT TO SCALE
 NOT A CONSTRUCTION DRAWING

LEGEND:

-  Free Draining Structural Backfill
-  1 inch Drain Rock

 Earth Solutions NW_{LLC} Geotechnical Engineering, Construction Monitoring and Environmental Sciences		
RETAINING WALL DRAINAGE DETAIL Lyons Gate II Lake Stevens, Washington		
Drwn. MRS	Date 01/11/2017	Proj. No. 4863.01
Checked AZS	Date Jan. 2017	Plate 3

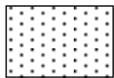
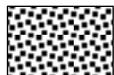


NOTES:

- Do NOT tie roof downspouts to Footing Drain.
- Surface Seal to consist of 12" of less permeable, suitable soil. Slope away from building.

SCHEMATIC ONLY - NOT TO SCALE
 NOT A CONSTRUCTION DRAWING

LEGEND:

-  Surface Seal; native soil or other low permeability material.
-  1" Drain Rock

	Earth Solutions NW LLC Geotechnical Engineering, Construction Monitoring and Environmental Sciences		
	FOOTING DRAIN DETAIL Lyons Gate II Lake Stevens, Washington		
Drwn. MRS	Date 01/11/2017	Proj. No. 4863.01	
Checked AZS	Date Jan. 2017	Plate	4

Appendix A

Subsurface Exploration

ES-4863.01

The subsurface conditions at the site were explored by excavating seven test pits at the approximate locations illustrated on Plate 2 of this report. The test pits were advanced to a maximum depth of nine feet below existing grades. The test pit logs are provided in this Appendix. The subsurface exploration was completed on November 18, 2016.

Logs of the test pits excavated by ESNW are presented in Appendix A. The final logs represent the interpretations of the field logs and the results of laboratory analyses. The stratification lines on the logs represent the approximate boundaries between soil types. In actuality, the transitions may be more gradual.

Earth Solutions NW_{LLC}

SOIL CLASSIFICATION CHART

MAJOR DIVISIONS			SYMBOLS		TYPICAL DESCRIPTIONS	
			GRAPH	LETTER		
COARSE GRAINED SOILS MORE THAN 50% OF MATERIAL IS LARGER THAN NO. 200 SIEVE SIZE	GRAVEL AND GRAVELLY SOILS (LITTLE OR NO FINES)	CLEAN GRAVELS		GW	WELL-GRADED GRAVELS, GRAVEL - SAND MIXTURES, LITTLE OR NO FINES	
		GRAVELS WITH FINES		GP	POORLY-GRADED GRAVELS, GRAVEL - SAND MIXTURES, LITTLE OR NO FINES	
		(APPRECIABLE AMOUNT OF FINES)		GM	SILTY GRAVELS, GRAVEL - SAND - SILT MIXTURES	
	MORE THAN 50% OF COARSE FRACTION RETAINED ON NO. 4 SIEVE	SAND AND SANDY SOILS (LITTLE OR NO FINES)	CLEAN SANDS		SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
			SANDS WITH FINES		SP	POORLY-GRADED SANDS, GRAVELLY SAND, LITTLE OR NO FINES
			(APPRECIABLE AMOUNT OF FINES)		SM	SILTY SANDS, SAND - SILT MIXTURES
FINE GRAINED SOILS MORE THAN 50% OF MATERIAL IS SMALLER THAN NO. 200 SIEVE SIZE	SILTS AND CLAYS LIQUID LIMIT LESS THAN 50	(LITTLE OR NO FINES)		ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY	
		SANDS WITH FINES		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS	
		(APPRECIABLE AMOUNT OF FINES)		OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY	
	SILTS AND CLAYS LIQUID LIMIT GREATER THAN 50	(LITTLE OR NO FINES)	SANDS WITH FINES		MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SAND OR SILTY SOILS
			SANDS WITH FINES		CH	INORGANIC CLAYS OF HIGH PLASTICITY
			(APPRECIABLE AMOUNT OF FINES)		OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
HIGHLY ORGANIC SOILS				PT	PEAT, HUMUS, SWAMP SOILS WITH HIGH ORGANIC CONTENTS	

DUAL SYMBOLS are used to indicate borderline soil classifications.

The discussion in the text of this report is necessary for a proper understanding of the nature of the material presented in the attached logs.



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TEST PIT NUMBER TP-1

CLIENT Arcadia Homes, LLC PROJECT NAME Lyons Gate II
 PROJECT NUMBER 4863.01 PROJECT LOCATION Lake Stevens, Washington
 DATE STARTED 11/18/16 COMPLETED 11/18/16 GROUND ELEVATION _____ TEST PIT SIZE _____
 EXCAVATION CONTRACTOR LPG Civil Construction GROUND WATER LEVELS:
 EXCAVATION METHOD _____ AT TIME OF EXCAVATION ---
 LOGGED BY AZS CHECKED BY AZS AT END OF EXCAVATION ---
 NOTES Depth of Topsoil & Sod 12": grass AFTER EXCAVATION ---

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 30.90% Fines = 51.40%	TPSL		1.0 Brown SILT, medium dense, moist
		MC = 13.50%	ML		3.0 -roots [USDA Classification: gravelly LOAM]
5		MC = 13.70%	SM		9.0 Gray silty SAND with gravel, dense, moist -weakly cemented -light seepage -becomes very dense
					Test pit terminated at 9.0 feet below existing grade. Groundwater seepage encountered at 4.0 feet during excavation. No caving observed. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL 4863-1.GPJ GINT US.GDT 12/16/16

TEST PIT NUMBER TP-2



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

CLIENT Arcadia Homes, LLC	PROJECT NAME Lyons Gate II
PROJECT NUMBER 4863.01	PROJECT LOCATION Lake Stevens, Washington
DATE STARTED 11/18/16	COMPLETED 11/18/16
EXCAVATION CONTRACTOR LPG Civil Construction	GROUND ELEVATION _____
EXCAVATION METHOD _____	TEST PIT SIZE _____
LOGGED BY AZS	CHECKED BY AZS
NOTES Depth of Topsoil & Sod 10": grass	GROUND WATER LEVELS:
	AT TIME OF EXCAVATION ---
	AT END OF EXCAVATION ---
	AFTER EXCAVATION ---

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 40.90%	TPSL		1.0
			ML		2.0
		MC = 21.90%			Gray SILT with gravel, dense, moist -weakly cemented, iron oxide staining
5		MC = 15.10%	ML		-becomes very dense
		MC = 13.60% Fines = 51.60%			9.0
					[USDA Classification: slightly gravelly LOAM] Test pit terminated at 9.0 feet below existing grade. Groundwater seepage encountered at 2.0 feet during excavation. No caving observed. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL 4863-1.GPJ GINT US.GDT 12/16/16



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

TEST PIT NUMBER TP-3

CLIENT Arcadia Homes, LLC PROJECT NAME Lyons Gate II
 PROJECT NUMBER 4863.01 PROJECT LOCATION Lake Stevens, Washington
 DATE STARTED 11/18/16 COMPLETED 11/18/16 GROUND ELEVATION _____ TEST PIT SIZE _____
 EXCAVATION CONTRACTOR LPG Civil Construction GROUND WATER LEVELS:
 EXCAVATION METHOD _____ AT TIME OF EXCAVATION --
 LOGGED BY AZS CHECKED BY AZS AT END OF EXCAVATION --
 NOTES Depth of Topsoil & Sod 4": grass AFTER EXCAVATION --

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 59.60%	TPSL		0.5 -roots
		MC = 16.10%	SM		1.0 Brown silty SAND, loose to medium dense, moist to wet Gray silty SAND with gravel, dense to very dense, moist -light seepage at 1'
5		MC = 14.20%	SM		-weakly cemented
		MC = 11.60%			9.0 Test pit terminated at 9.0 feet below existing grade. Groundwater seepage encountered at 1.0 foot during excavation. No caving observed. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL - 4863-1.GPJ GINT.US.GDT 12/18/16



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

TEST PIT NUMBER TP-4

CLIENT Arcadia Homes, LLC	PROJECT NAME Lyons Gate II
PROJECT NUMBER 4863.01	PROJECT LOCATION Lake Stevens, Washington
DATE STARTED 11/18/16	COMPLETED 11/18/16
EXCAVATION CONTRACTOR LPG Civil Construction	GROUND ELEVATION _____
EXCAVATION METHOD _____	TEST PIT SIZE _____
LOGGED BY AZS	CHECKED BY AZS
NOTES Depth of Topsoil & Sod 7": blackberries	GROUND WATER LEVELS:
	AT TIME OF EXCAVATION ---
	AT END OF EXCAVATION ---
	AFTER EXCAVATION ---

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 40.20%	TPSL		0.5 -roots Brown silty SAND with gravel, medium dense, moist to wet -moderate seepage
			SM		3.0 -moderate to heavy seepage at 3' -caving Gray silty SAND with gravel, dense, moist
5		MC = 14.70%			
			SM		-becomes very dense, iron oxide staining
		MC = 13.00%			9.0 Test pit terminated at 9.0 feet below existing grade. Groundwater seepage encountered at 1.0 and 3.0 feet during excavation. Caving observed from 3.0 to 5.0 feet. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL 4863-1.GPJ GINT US.GDT 12/16/16

TEST PIT NUMBER TP-5



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

CLIENT Arcadia Homes, LLC	PROJECT NAME Lyons Gate II
PROJECT NUMBER 4863.01	PROJECT LOCATION Lake Stevens, Washington
DATE STARTED 11/18/16	COMPLETED 11/18/16
EXCAVATION CONTRACTOR LPG Civil Construction	GROUND ELEVATION _____
EXCAVATION METHOD _____	TEST PIT SIZE _____
LOGGED BY AZS	CHECKED BY AZS
NOTES Depth of Topsoil & Sod 6": forest duff	GROUND WATER LEVELS:
	AT TIME OF EXCAVATION --
	AT END OF EXCAVATION --
	AFTER EXCAVATION --

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 24.60% Fines = 44.30%	SM		0.5 -roots Brown silty SAND with gravel, medium dense, moist [USDA Classification: gravelly LOAM]
5		MC = 13.00%	SM		4.0 Gray silty SAND with gravel, dense, moist -weakly cemented -becomes very dense
		MC = 9.90%			9.0 Test pit terminated at 9.0 feet below existing grade. No groundwater encountered during excavation. No caving observed. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL 4863-1.GPJ GINT US.GDT 12/16/16



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

TEST PIT NUMBER TP-6

CLIENT Arcadia Homes, LLC PROJECT NAME Lyons Gate II
 PROJECT NUMBER 4863.01 PROJECT LOCATION Lake Stevens, Washington
 DATE STARTED 11/18/16 COMPLETED 11/18/16 GROUND ELEVATION _____ TEST PIT SIZE _____
 EXCAVATION CONTRACTOR LPG Civil Construction GROUND WATER LEVELS:
 EXCAVATION METHOD _____ AT TIME OF EXCAVATION ---
 LOGGED BY AZS CHECKED BY AZS AT END OF EXCAVATION ---
 NOTES Depth of Topsoil & Sod 8": grass AFTER EXCAVATION ---

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 19.30%	TPSL		0.5 Brown silty SAND with gravel, medium dense, moist
			SM		3.0 Gray silty SAND with gravel -weakly cemented
5		MC = 9.90%	SM		-becomes very dense
		MC = 12.60% Fines = 7.50%	SP		7.5 8.0 Brownish gray poorly graded SAND with gravel, very dense, moist -strongly cemented [USDA Classification: slightly gravelly SAND] Test pit terminated at 8.0 feet below existing grade. No groundwater encountered during excavation. No caving observed. Bottom of test pit at 8.0 feet.

GENERAL BH / TP / WELL_4863-1.GPJ_GINT US.GDT 12/16/16



Earth Solutions NW
 1805 - 136th Place N.E., Suite 201
 Bellevue, Washington 98005
 Telephone: 425-449-4704
 Fax: 425-449-4711

TEST PIT NUMBER TP-7

CLIENT Arcadia Homes, LLC PROJECT NAME Lyons Gate II
 PROJECT NUMBER 4863.01 PROJECT LOCATION Lake Stevens, Washington
 DATE STARTED 11/18/16 COMPLETED 11/18/16 GROUND ELEVATION _____ TEST PIT SIZE _____
 EXCAVATION CONTRACTOR LPG Civil Construction GROUND WATER LEVELS:
 EXCAVATION METHOD _____ AT TIME OF EXCAVATION ---
 LOGGED BY AZS CHECKED BY AZS AT END OF EXCAVATION ---
 NOTES Depth of Topsoil & Sod 6": grass AFTER EXCAVATION ---

DEPTH (ft)	SAMPLE TYPE NUMBER	TESTS	U.S.C.S.	GRAPHIC LOG	MATERIAL DESCRIPTION
0					
		MC = 26.80%	TPSL		0.5 -roots
			SM		Brown silty SAND with gravel, medium dense, moist
		MC = 15.50%			2.0 Gray silty SAND with gravel, dense, moist -iron oxide staining, weakly cemented
5			SM		-becomes very dense
		MC = 12.40%			9.0 Test pit terminated at 9.0 feet below existing grade. No groundwater encountered during excavation. No caving observed. Bottom of test pit at 9.0 feet.

GENERAL BH / TP / WELL 4863-1.GPJ GINT US.GDT 12/16/16

Appendix B
Laboratory Test Results
ES-4863.01



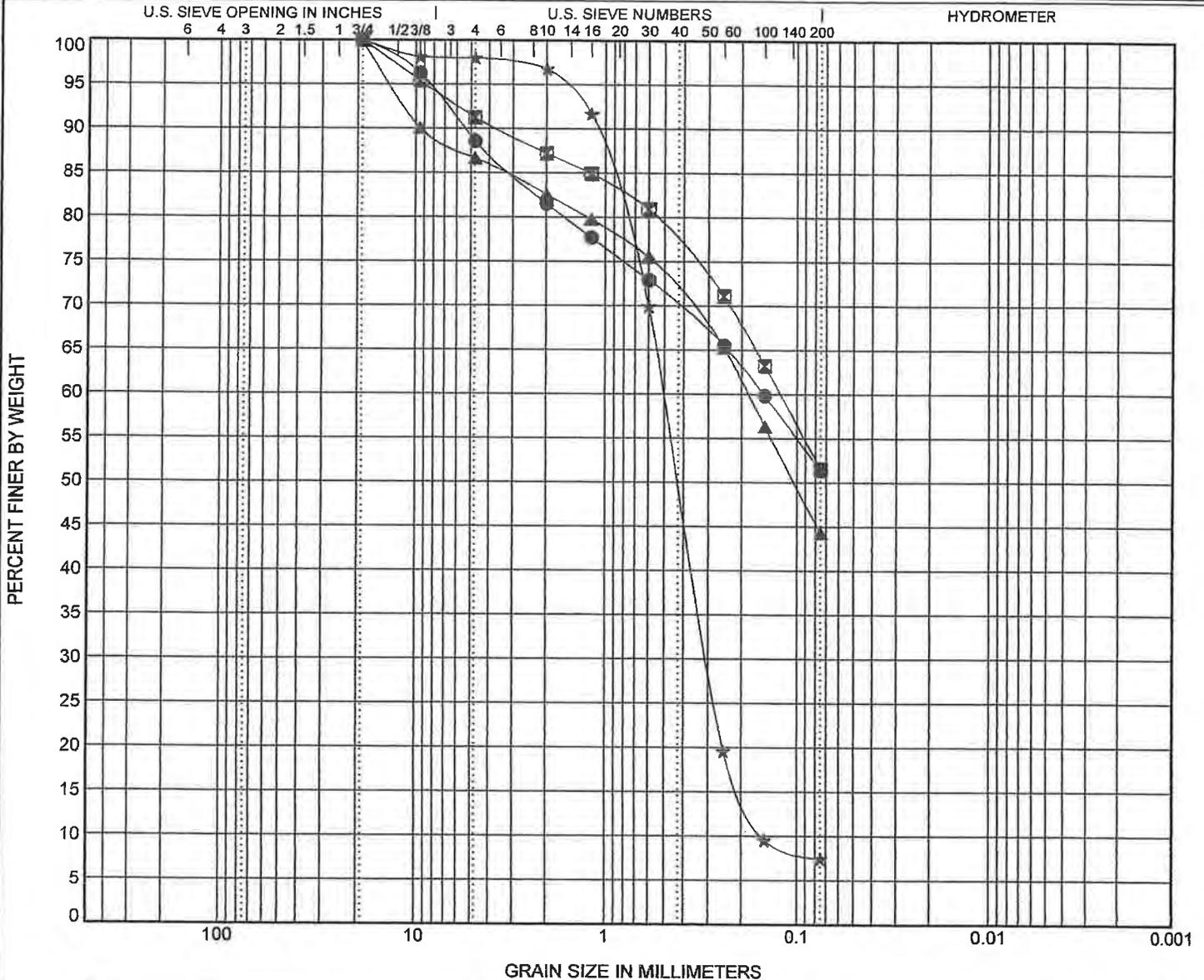
Earth Solutions NW, LLC
 1805 136th PL NE
 Bellevue WA 98005
 Telephone: 4252843300

CLIENT Arcadia Homes, LLC

PROJECT NAME Klett Meadows

PROJECT NUMBER ES-4863.01

PROJECT LOCATION Lake Stevens, Washington



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification	Classification		Cc	Cu
● TP-1 2.00ft.	USDA: Brown Gravelly Loam. USCS: Sandy ML.			
☒ TP-2 9.00ft.	USDA: Gray Slightly Gravelly Loam. USCS: Sandy ML.			
▲ TP-5 2.00ft.	USDA: Brown Gravelly Loam. USCS: SM.			
★ TP-6 8.00ft.	USDA: Brown Slightly Gravelly Sand. USCS: SP.		1.16	3.29

Specimen Identification	D100	D60	D30	D10	LL	PL	PI	%Silt	%Clay
● TP-1 2.0ft.	19	0.152						51.4	
☒ TP-2 9.0ft.	19	0.124						51.6	
▲ TP-5 2.0ft.	19	0.185						44.3	
★ TP-6 8.0ft.	19	0.505	0.3	0.153				7.5	

GRAIN SIZE USDA ES-4863.01.GPJ GINT US LAB.GDT 12/5/16

Report Distribution

ES-4863.01

EMAIL ONLY

**Arcadia Homes, LLC
PO Box 610
Lake Stevens, Washington 98258**

Attention: Mr. Tim Kaintz

EMAIL ONLY

**Sound Design Engineering, Inc.
10515 – 20th Street Southeast, 125
Lake Stevens, Washington 98258**

Attention: Mr. Bob Nehring

EMAIL ONLY

**Land Pro Group, Inc.
10515 – 20th Street Southeast, Suite 202
Lake Stevens, Washington 98258**

Attention: Mr. Patrick McCourt



MEMORANDUM

To: Adam Emerson, City of Lake Stevens
From: Brad Lincoln, PE
Project: Lyon’s Gate Estates Phase 2, GTC #16-288
City of Lake Stevens Trip Generation & Distribution
Date: December 13, 2016



This memorandum summarizes the trip generation and distribution for the proposed Lyon’s Gate Estates Phase 2 development within the City of Lake Stevens. The site is located along the east side of 83rd Avenue SE, north of 17th Street SE. The development is proposed to have one access to 83rd Avenue NE that will align with the Lyon’s Gate Estates access and one access to unopened right-of-way to 17th Street SE. The development is proposed to be rezoned to increase the potential density from 22 to 34 single-family dwellings. There are two existing single-family dwelling unit on the site being removed. A site vicinity map is included Figure 1.



Figure 1: Site Vicinity

Trip Generation

The trip generation calculations for the Lyon’s Gate Estates Phase 2 development have been performed using trip generation data contained in the Institute of Transportation Engineers’ (ITE) *Trip Generation Manual, 9th Edition (2012)*. The average trip generation rates for ITE land Use Code 210, Single-Family Detached Housing, have been utilized for the trip generation calculations.

The current zoning, Urban Residential (UR), would allow for a density of 22 single-family residential units. The trip generation based on the existing zoning and the 2 single-family residential units that will be removed is summarized in Table 1.

Table 1: Trip Generation Summary – UR Zoning

20 New Single-Family Residential Units	Average Daily Trips			PM Peak-Hour Trips		
	Inbound	Outbound	Total	Inbound	Outbound	Total
Generation Rate	9.52 trips per unit			1.00 trips per unit		
Splits	50%	50%	100%	63%	37%	100%
Trips	95	95	190	13	7	20

The existing zoning would result in 190 additional average daily trips and 20 additional PM peak-hour trips being generated.

A rezone to High Urban Residential (HUR) is proposed and would allow for 34 single-family residential units on the site. The trip generation calculations of the 30 new residential units, based on the HUR zoning and 2 units on the site being removed, are included in Table 2.

Table 2: Trip Generation Summary – HUR Zoning

32 New Single-Family Residential Units	Average Daily Trips			PM Peak-Hour Trips		
	Inbound	Outbound	Total	Inbound	Outbound	Total
Generation Rate	9.52 trips per unit			1.00 trips per unit		
Splits	50%	50%	100%	63%	37%	100%
Trips	153	152	305	20	12	32

The HUR zoning would result in the generation of 305 new average daily trips (ADT) with 32 new PM Peak-hour trips.

The rezone from UR to HUR would increase the trip generation of the Lyons Gate Estates Phase 2 by 115 average daily trips and 12 PM peak-hour trips. The 12 additional PM peak-hour trips represent an increase of 5% of the existing PM peak-hour traffic on the roadway, based on recent PM peak-hour count data. This increase is therefore not anticipated to create a significant impact on the surrounding street system.

Trip Distribution

The trip distribution for the proposed Lyon's Gate Estates Phase 2 development is based on previously approved distributions in the site vicinity. It is anticipated that 48% of the development's trips will travel to and from the west along 20th Street SE. Approximately 21% of the development's trips will travel to and from the east along 20th Street SE. The remaining 31% of the development's trips will travel to and from the east along 8th Street SE and 1st Street SE.

Traffic Mitigation Fees

The Lyon's Gate Estates Phase 2 development is located in Traffic Impact Zone 3 (TIZ 3) of the City of Lake Stevens. The traffic impact fee per single-family residential unit, based on the City of Lake Stevens *Traffic Impact Fee Determination Worksheet*, is \$2,917 per new PM peak-hour trip. The 32 new units of the Lyon's Gate Estates Development will therefore result in City of Lake Stevens traffic mitigation fees of \$93,344. The completed *Traffic Impact Fee Determination Worksheet* is included in the attachments.

Attachments

City of Lake Stevens - Traffic Impact Fee Determination Worksheet

Name of Development: Lyon's Gate Estates Phase 2

Date Prepared: November 29, 2016 Prepared by: Brad Lincoln

Base Impact Fee Calculation

1. Land use: (1)
2. PM Peak Hour Trip Number from latest edition of ITE Trip Generation Manual

Code:	<input type="text" value="210"/>	Average Trip Generation Rate	<input type="text" value="1.00"/>	(2)
-------	----------------------------------	------------------------------	-----------------------------------	-----
3. Pass-by Trip reduction

Percentage from Table T-1	<input type="text" value="0"/>	%	percentage x (2)	<input type="text" value="0.00"/>	(3)
---------------------------	--------------------------------	---	------------------	-----------------------------------	-----
4. Total new Peak Hour Trips

	(2) – (3)	<input type="text" value="1.00"/>	(4)
--	-----------	-----------------------------------	-----
5. Traffic Impact Zone (TIZ) Per Trip Fee: see Figure 1 for map of TIZ

TIZ 1 =\$2,039	TIZ 2 & TIZ 3 = \$2,917	Per Trip Fee:	<input type="text" value="\$2,917"/>	(5)
----------------	-------------------------	---------------	--------------------------------------	-----
6. **Calculated Base Impact Fee**

	(4) X (5)	<input type="text" value="\$2,917"/>	(6)
--	-----------	--------------------------------------	-----

Offsite System Improvements – Credits for offsite transportation improvements may be given when the improvements are portions of a project identified in the City’s Capital Facility Plan used in the determination of the Traffic Impact Fee “per trip fee.” City staff can provide a list of the system projects. The determination of a credit is based on City approved costs estimates provided by the Developer’s site engineer. A credit for offsite system improvements cannot be greater than the Calculated Base Impact Fee.

State Environmental Policy Act (SEPA) – excerpt from City Municipal Code

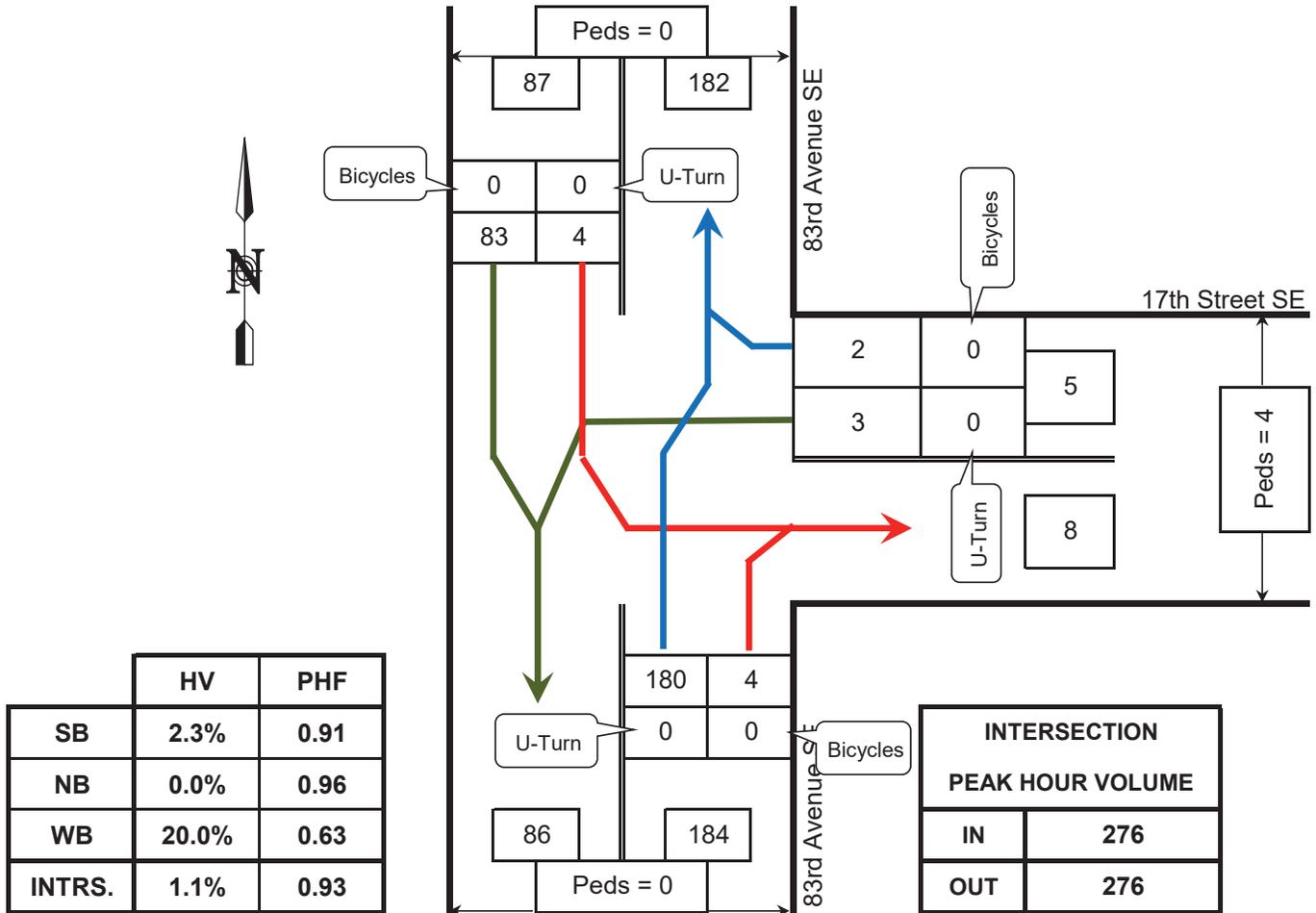
14.112.070 Relationship to the State Environmental Policy Act (SEPA).

This chapter establishes minimum impact fees, applied to all developments. These fees are presumed to mitigate traffic demand on the capacity of the city street system. However, each development shall be reviewed and be subject to the substantive authority of SEPA for potential adverse traffic impacts on the street system not mitigated by this fee.



TURNING MOVEMENTS DIAGRAM

4:00 PM - 6:00 PM PEAK HOUR: 4:00 PM TO 5:00 PM



HV = Heavy Vehicles
 PHF = Peak Hour Factor

83rd Avenue SE @ 17th Street SE

Lake Stevens, WA

COUNTED BY: VT

DATE OF COUNT: Thu. 11/3/16

REDUCED BY: CN

TIME OF COUNT: 4:00 PM - 6:00 PM

REDUCTION DATE: Thu. 11/3/16

WEATHER: Overcast



Planning & Community Development

1812 Main Street
P.O. Box 257
Lake Stevens, WA 98258

December 15, 2016

Bob Nehring
Sound Design Engineering
10515 20th St. SE, Suite #125
Lake Stevens, WA 98258

RE: Lyons Gate II Preliminary Plat / LUA2016-0189, 0190 & 0191

Dear Mr. Nehring,

This letter is to inform you that the City of Lake Stevens has determined your applications for a rezone, preliminary plat, and design review received December 7th and December 15th, 2016, project numbers LUA2016-0189, LUA2016-0190 and LUA2016-0191, to be complete pursuant to Lake Stevens Municipal Code 14.16A.220(f) and 14.16A.230(c) on December 15, 2016.

This determination of completeness means the city has received application fees and basic information needed to start its review. This determination is not a project approval. The city may require additional or corrected information to ensure the proposal meets city requirements.

Please feel free to call or email me if you have any questions or concerns regarding this letter.

Sincerely,

A handwritten signature in black ink that reads "Melissa Place". The signature is written in a cursive, flowing style.

Melissa Place, Senior Planner

CC: Patrick McCourt, Land Pro Group Inc.
Tim Kaintz, Property Owner



CITY OF LAKE STEVENS NOTICE OF LAND USE APPLICATIONS Rezone, Preliminary Plat & Design Review

PROJECT NAME/ FILE NUMBER: Lyons Gate II Preliminary Plat/LUA2016-0189, 0190, and 0191
APPLICANT: JM1 Holdings LLC
PROJECT LOCATION: 1615, & 1621 83rd Ave SE, Lake Stevens, WA / APNS # 29052400300600 and 29052400300500
DATE OF APPLICATION: December 7th and December 15th, 2016
DATE OF COMPLETENESS: December 15, 2016
NOTICE OF APPLICATION ISSUED: December 24, 2016
END OF COMMENT PERIOD: **January 9, 2017**

Proposed Project Description: The applicant is proposing a site-specific rezone of two parcels totaling 5 acres from the current zoning of Medium Density Residential (MDR) to High Urban Residential (HUR) zoning. In addition, the applicant proposes a 34-lot residential subdivision with associated improvements on the same properties. The subdivision is proposed to be accessed via connections with 83rd Avenue SE and 17th St SE.

Permits Required: Rezone approval, Preliminary plat approval, design review, clearing permit, grading permit, construction plan approval, and final plat approval.

Review Process: A minor site-specific rezone is a Type IV review with a public hearing on the rezone before the Hearing Examiner with a recommendation to City Council. The City Council has the final decision on a Type IV application. The project is subject to a public meeting per LSMC 14.16B.425.

Preliminary plat is a Type III review per LSMC 14.16A-I, with a public hearing and final decision by the Hearing Examiner. The project is subject to a Design Review Board meeting per LSMC 14.16C.050 and a public meeting per LSMC 14.16A.260. The purpose of a public meeting is to provide the public with the opportunity to learn about a project or to ask questions for a better understanding of a project.

SEPA Environmental Review: The rezone has been determined exempt from SEPA review as per WAC 197-11-800(6)(c).

The proposed subdivision is within the Lake Stevens 20th Street SE Corridor Sub Area for which a Planned Action EIS exists. A Planned Action Certificate is included with the application for review by city staff. The subdivision may qualify as a planned action.

PUBLIC REVIEW AND COMMENT:

Interested parties may submit written comments on the proposal. Interested parties may submit written comments within **14 days of this Notice** by sending them to City Hall, Attn: Melissa Place, PO Box 257, Lake Stevens, WA 98258 or by email at mplace@lakestevenswa.gov. Upon publication of the Notice of



CITY OF LAKE STEVENS NOTICE OF LAND USE APPLICATIONS Rezone, Preliminary Plat & Design Review

Application, there is a 14-day period comment period. The deadline for public comments is **4:00 PM, January 9, 2017.**

The project file, including a site map is available for review at the Permit Center, located behind City Hall, Monday-Friday 9:00 am- 4:00 pm. Limited materials are available at: <http://www.ci.lake-stevens.wa.us/index.aspx?nid=380>.

For additional information please contact the Department of Community Development at 425-377-3223.

It is the City's goal to comply with the American with Disabilities Act. The City offers its assistance to anyone with special needs, including the provision of TDD services.

Distribution: Applicant
 Posted at Permit Center, City Hall, Subject Property and Website
 Mailed to property Owners within 300 feet of project site
 Published in Everett Herald



AFFIDAVIT OF NOTICE

Project Name: Lyons Gate II

Project Number: LVA 2016-089, 0190 & 0191

Place Posted

Date Posted

Signature

1. Property

12/23/16

[Signature]

2. City Hall

12/23/16

[Signature]

3. Planning

12/23/16

[Signature]

4. Everett Herald

12/24/16

[Signature]

5. Mailings

12/23/16

[Signature]

6. Website

12/23/16

[Signature]



CITY OF LAKE STEVENS NOTICE OF DESIGN REVIEW BOARD MEETING and PUBLIC MEETING

PROJECT NAME(S) / FILE NUMBER(S): Lyons Gate I Preliminary Plat / LUA2016-0174 and 0175; and Lyons Gate II Preliminary Plat and Rezone / LUA2016-0189, LUA2016-190 and LUA2016-191

DATE OF PUBLIC MEETING / TIME: February 8, 2017 / 5:30 p.m.

DATE OF DRB MEETING / TIME: February 8, 2017 / 6:30 p.m.

MEETING LOCATION: Lake Stevens Community Center, 1820 Main Street, Lake Stevens, WA 98258

PROPOSED PROJECT DESCRIPTION:

Two subdivision projects will be considered by the Design Review Board at their February 8, 2017 meeting in addition to their review of Bartell Drugs. Two public meetings to inform citizens about the proposal for the Lyons Gate I and Lyons Gate II subdivisions will also be held prior to the Design Review Board meeting at the same location. The following are project descriptions for the two subdivisions to be reviewed by the DRB:

1. Lyons Gate I

Applicant proposes a 35-lot residential subdivision with associated improvements located in the High Urban Residential zoning district and 20th Street Subarea on four parcels totaling 4.5 acres. The plat is proposed to be accessed via connections with 83rd Avenue SE. **APPLICANT:** JM1 Holdings LLC **PROJECT LOCATION:** 1606, 1610, 1616, & 1618 83rd Ave SE, Lake Stevens, WA / APN's 00431400300601, 00431400300603, 00431400300604, and 00431400300606.

2. Lyons Gate II

The applicant is proposing a site-specific rezone of two parcels totaling 5 acres from the current zoning of Medium Density Residential (MDR) to High Urban Residential (HUR) zoning. In addition, the applicant proposes a 34-lot residential subdivision with associated improvements on the same properties. The subdivision is proposed to be accessed via connections with 83rd Avenue SE and 17th St SE. **APPLICANT:** JM1 Holdings LLC **PROJECT LOCATION:** 1615, & 1621 83rd Ave SE, Lake Stevens, WA / APN's 29052400300600 and 29052400300500.

PUBLIC REVIEW AND COMMENT:

Interested parties may submit written comments before the meeting. Comments can be submitted to City Hall, Attn: Melissa Place, PO Box 257, Lake Stevens, WA 98258 or by email at mplace@lakestevenswa.gov. Persons who submit written or oral testimony may appeal the decision.

The project files, including the staff reports, site map and recommendations are available for review at the Permit Center, located behind City Hall, Monday-Thursday 9 am- 4 pm and Friday, 9am -12pm. Limited materials are available at: <http://www.ci.lake-stevens.wa.us/index.aspx?nid=380>. For additional information please contact the Department of Planning and Community Development at 425-377-3223.



CITY OF LAKE STEVENS NOTICE OF DESIGN REVIEW BOARD MEETING and PUBLIC MEETING

It is the City's goal to comply with the American with Disabilities Act. The City offers its assistance to anyone with special needs, including the provision of TDD services.

Distribution: Applicants
Posted at Permit Center, City Hall and Website
Mailed to property Owners within 300 feet of project site
Published in Everett Herald



AFFIDAVIT OF NOTICE

Project Name: Yun's Gate I & II P-plot → DRB
 Project Number: WA2016-0174, 0175, 0189, 0190 & 0191

<u>Place Posted</u>	<u>Date Posted</u>	<u>Signature</u>
1. Property	—	—
2. City Hall	1-18-17	CH
3. Planning	1-18-17	CH
4. Everett Herald - MELISSA PLAKE	1-23-17	CH
5. Mailings - MAILED TO ADDRESSES LIST FOR I + II	1-20-17	CH
6. Website	1-20-17	CH



CITY OF LAKE STEVENS NOTICE OF PUBLIC HEARING Rezoning

PROJECT NAME/ FILE NUMBER: Lyons Gate II Rezoning / LUA2016-0191
APPLICANT/PROPERTY OWNER: JM1 Holdings LLC
PROJECT LOCATION: 1615, & 1621 83rd Ave SE, Lake Stevens, WA / APNS # 29052400300600 and 29052400300500
DATE OF APPLICATION: December 7th and December 15th, 2016
DATE OF COMPLETENESS: December 15, 2016
NOTICE OF APPLICATION ISSUED: December 24, 2016
PUBLIC HEARING DATE / TIME: Thursday, March 16, 2017 / 4:00 p.m.
LOCATION: Lake Stevens Fire Conference Hall, 1825 South Lake Stevens Road, Lake Stevens, WA 98258

Project Description: The applicant is proposing a site-specific rezoning of two parcels totaling 5 acres from the current zoning of Urban Residential (UR) to High Urban Residential (HUR) zoning. In addition, the applicant proposes a 34-lot residential subdivision with associated improvements on the same properties. The subdivision is proposed to be accessed via a connection with 83rd Avenue SE.

Permits Required: Rezoning approval, preliminary plat approval, design review, clearing permit, grading permit, construction plan approval, and final plat approval.

Permit Type/Process: A minor site-specific rezoning is a Type IV review with a public hearing on the rezoning before the Hearing Examiner with a recommendation to City Council. The City Council has the final decision on a Type IV application.

SEPA Environmental Review: The rezoning has been determined exempt from SEPA review as per WAC 197-11-800(6)(c).

PUBLIC REVIEW AND COMMENT:

Interested parties may submit written comments before the public hearing or provide verbal comments at the public hearing. Comments can be submitted to City Hall, Attn: Melissa Place, PO Box 257, Lake Stevens, WA 98258 or by email at mplace@lakestevenswa.gov. Persons who submit written or oral testimony may appeal the decision.

The project file, including the staff report, site map and recommendations is available for review at the Permit Center, located behind City Hall, Monday-Thursday 9 am- 4 pm and Friday, 8 am -12 pm. Limited materials are available at: <http://www.ci.lake-stevens.wa.us/index.aspx?nid=380>.

It is the City's goal to comply with the American with Disabilities Act. The City offers its assistance to anyone with special needs, including the provision of TDD services.



CITY OF LAKE STEVENS NOTICE OF PUBLIC HEARING Rezone

Distribution: Applicant
Posted at Permit Center, City Hall, Subject Property and Website
Mailed to property Owners within 300 feet of project site
Published in Everett Herald



AFFIDAVIT OF NOTICE

Project Name: Lyons Gate II Rezone Public Hearing
 Project Number: LUA 2016-0191
1615 83rd Ave SE

Place Posted

Date Posted

Signature

1. Property

3/3/17

[Signature]

2. City Hall

3/3/17

[Signature]

3. Planning

3/3/17

[Signature]

4. Everett Herald

3/03/17

[Signature]

5. Mailings

3/3/17

[Signature]

6. Website

3/3/17

[Signature]

From: [Sharon Thurber](#)
To: [Melissa Place](#)
Subject: Lyons Gate I & II
Date: Tuesday, January 24, 2017 10:22:06 PM

Melissa,

Several of us that live either on 83rd Ave. SE or close to it are very concerned about these two projects. The intersection of 20th and 83rd is currently a bottleneck due to the poor planning of the intersection. The left hand turn light to get from southbound 83rd to eastbound 20th is a very short light and traffic often gets backed beyond 15th Pl. SE with people trying to make that turn.

Is one of the contingency provisions; is the person wanting these permits required to reconfigure & expand that intersection? I know, often when plats are presented, the permits are issued and the person applying must make street improvements before proceeding with the project.

Also, is it really in the best interests of this area to rezone from MDR to HDR??? I don't think so and neither do many of the neighbors!!

Please let me know as soon as possible as several of the residents want to make their concerns known. There are many senior citizens in this area and getting them out at night is often a problem.

Thanks. Sharon (Sammie) Thurber
8430 15th Pl. SE #62
Lake Stevens, WA 98258
Phone: (H) 425-334-8901
(C) 509945-7067

From: Melissa Place
To: "[Sharon Thurber](#)"
Subject: RE: Lyons Gate I & II
Date: Friday, January 27, 2017 9:03:00 AM
Attachments: [LUA2016-0145 0190 DRB-Notice.pdf](#)
[image001.png](#)

Hi Sharon, thank you for your email regarding these two projects. Please feel free to share this email and information with the other residents you mentioned in your email.

The applicant will be required to make improvements to 83rd Avenue SE in conjunction with their project. These improvements will include widening, curb, gutter, planter strip and sidewalk. However, the applicant will not likely be required to make changes to the intersection of 83rd Avenue SE & 20th Street SE. These parcels are included within the 20th Street SE Subarea Plan which set a quota for the number of residential units allowed to be built before developers within the subarea must make improvements to intersections. These quotas have not yet been reached but the city realizes that 20th Street SE, and by association 83rd Avenue SE, have significant volumes of traffic, particularly in the morning rush hour, and are in the process of designing improvements and acquiring right-of-way to construct those improvements. The developer does pay traffic impact fees per lot developed and those fees go toward paying for the improvements the city is currently designing.

A rezone from Urban Residential (UR) to High Urban Residential (HUR) would be a minor site-specific rezone per the Lake Stevens Municipal Code Section 14.16C.090. Per LSMC 14.36.200, the HUR zoning district is compatible with the MDR land use designation and therefore is in compliance with the Comprehensive Plan. A minor site-specific rezone is a Type IV review with a public hearing on the rezone before the Hearing Examiner with a recommendation to City Council. The City Council has the final decision on a Type IV application.

I would encourage you to attend the public meeting on the two projects on February 8th at 5:30 pm at the Lake Stevens Community Center, 1820 Main Street, Lake Stevens, to find out more information. Please see the attached for more information regarding that meeting.

Thank you, Melissa

Melissa Place, Senior Planner
City of Lake Stevens | Planning & Community Development
1812 Main Street | PO Box 257
Lake Stevens, WA 98258-0257
425.377.3229 | mplace@lakestevenswa.gov



From: Sharon Thurber [mailto:sammie914@gmail.com]

Sent: Tuesday, January 24, 2017 10:22 PM
To: Melissa Place <mplace@lakestevenswa.gov>
Subject: Lyons Gate I & II

Melissa,

Several of us that live either on 83rd Ave. SE or close to it are very concerned about these two projects. The intersection of 20th and 83rd is currently a bottleneck due to the poor planning of the intersection. The left hand turn light to get from southbound 83rd to eastbound 20th is a very short light and traffic often gets backed beyond 15th Pl. SE with people trying to make that turn.

Is one of the contingency provisions; is the person wanting these permits required to reconfigure & expand that intersection? I know, often when plats are presented, the permits are issued and the person applying must make street improvements before proceeding with the project.

Also, is it really in the best interests of this area to rezone from MDR to HDR??? I don't think so and neither do many of the neighbors!!

Please let me know as soon as possible as several of the residents want to make their concerns known. There are many senior citizens in this area and getting them out at night is often a problem.

Thanks. Sharon (Sammie) Thurber
8430 15th Pl. SE #62
Lake Stevens, WA 98258
Phone: (H) 425-334-8901
(C) 509945-7067

From: [Sally Jo](#)
To: [Melissa Place](#)
Subject: Re: Lyons Gate
Date: Wednesday, February 1, 2017 8:26:51 AM
Attachments: [image001.png](#)

Thanks, Melissa. You're welcome.

Sally Jo

From: Melissa Place
Sent: Wednesday, February 1, 2017 8:13 AM
To: Sally Jo
Subject: RE: Lyons Gate

Hi Sally Jo, thank you for pointing that out. That is an error and you are correct in that MDR is a land use classification. The current zoning is UR or Urban Residential and they are proposing to change it to HUR or High Urban Residential. Thank you for catching that.

Melissa

Melissa Place, Senior Planner
City of Lake Stevens | Planning & Community Development
1812 Main Street | PO Box 257
Lake Stevens, WA 98258-0257
425.377.3229 | mplace@lakestevenswa.gov



From: Sally Jo [<mailto:sallyjosebring@frontier.com>]
Sent: Tuesday, January 31, 2017 2:32 PM
To: Melissa Place <mplace@lakestevenswa.gov>
Subject: Lyons Gate

Melissa,

I was just looking at the announcement for the Lyons Gate I & II meetings.

The mention of the rezone proposal states that they're requesting a change for MDR to HUR. I think MDR is a Land Use classification, not a zoning, while HUR is a zoning, right? I haven't looked on the zoning map carefully to see what the current zoning is.

Sally Jo Sebring

Sharon (Sammie) Thurber, 8430 15th Pl. SE #62, Lake Stevens. Mgr of Cardinal Estates Manufactured Home Community for the over 55 set. I am here on behalf of myself, the owner JB Rupert, and many of our residents.

First, thanks to the panel for giving us this opportunity to ask a couple questions and make a comment or two.

1st) It is my assumption the System Development charges for the new water and sewer have been paid and those designs have passed reviews. Hopefully that is true.

2nd) We were happy to see the plats indicate a buffer of 20 ft for Lyons Gate II because with Cardinal Estates 20 buffer it would appear there will be good separation. HOWEVER, we are requesting the new developers be responsible for installing a solid wood or vinyl fence on their perimeter. We do not feel this is necessary on the portion of the property line we laughingly have called the swamp for many years!!

3rd) We hope that many of the trees on the perimeter can be retained. We do realize that some of those trees are old, don't have a great root system, and probably aren't as healthy as they could be. A good arborist should be able to offer assistance with these questions, if one has not already been consulted.

4th) We were all disappointed the development didn't meet the criteria for having to improve the 83rd/20th intersection. It is such a bottleneck even now at certain times of the day. Many of us drive many miles out of our way to avoid this area at certain days and times.

Thank you for your time and I will try to answer any questions you may have. I have brought copies of my remarks for you to take into your deliberations.

OH, One other thing. The residents of Cardinal Estates are, for the most part, retired. No hammering or saws before 7:30AM, PLE

From: [Robert Chamuler](#)
To: [Melissa Place](#)
Subject: Lyons Gate II Rezone
Date: Wednesday, March 8, 2017 5:27:09 PM

Melissa,

I live on 83rd Ave and am concerned about the proposed change in Zoning from UR to HUR, our family has lived on 83rd Ave for over 30 years, and over the years the traffic at certain times of the day has increased tenfold.

The traffic on 20th heading towards the Trestle is becoming a major impediment at rush hour for people trying to commute to Snohomish, Everett or the freeway.

Please consider that the current infrastructure i.e. roads for this area especially Highway 20 has reached its capacity and further development would be to the detriment of commuters and those of us who are already living here.

In closing, please reject the application to change the zoning from HR to HUR.

Sincerely,

Robert Chamuler

Sent from my iPhone



Planning & Community Development

1812 Main Street
Lake Stevens, WA 98258
(425) 377-3235
Fax (425) 212-3327

SEPA CATEGORICAL EXEMPTION DETERMINATION

File Number: LUA2016-0191

Project Title: Lyons Gate II Rezone

Applicant: JM1 Holdings LLC

Address/Project Location: 1615 & 1621 83rd Ave SE, Lake Stevens, WA 98258

SUMMARY OF PROPOSAL

The applicant is proposing a site-specific rezone of two parcels totaling 5 acres from the current zoning of Medium Density Residential (MDR) to High Urban Residential (HUR) zoning. In addition, the applicant proposes a 34-lot residential subdivision with associated improvements on the same properties.

EXISTING SITE CONDITIONS

The current site is roughly five acres with two existing single-family homes on two parcels.

WAC 197-11-800 CATEGORICAL EXEMPTIONS

The proposal is categorically exempt per WAC 197-11-800(6)(c) – Land Use Decisions, *Rezones - Where an exempt project requires a rezone, the rezone is exempt only if: (i) The project is in an urban growth area in a city or county planning under RCW 36.70A.040; (ii) The proposed rezone is consistent with and does not require an amendment to the comprehensive plan; and (iii) The applicable comprehensive plan was previously subjected to environmental review and analysis through an EIS under the requirements of this chapter prior to adoption; and the EIS adequately addressed the environmental impacts of the rezone.*

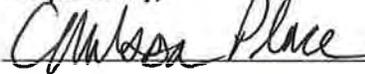
FINDINGS AND CONCLUSIONS

Per WAC 197-11-800 – Proposed actions contained in Part Nine are categorically exempt from threshold determination and EIS requirements, subject to the rules and limitation on categorical exemptions contained in WAC 197-11-305.

SEPA DETERMINATION

The project, as proposed, falls under the categorical exemption for Land Use Decisions.

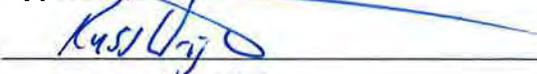
Prepared by,



Melissa Place, Senior Planner

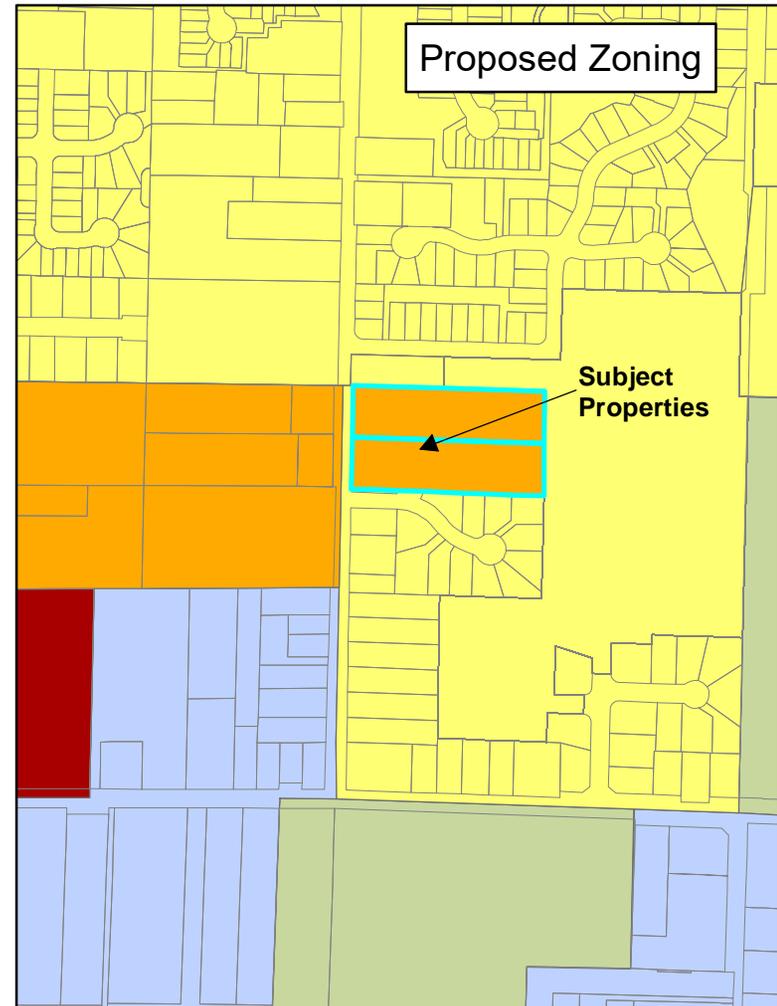
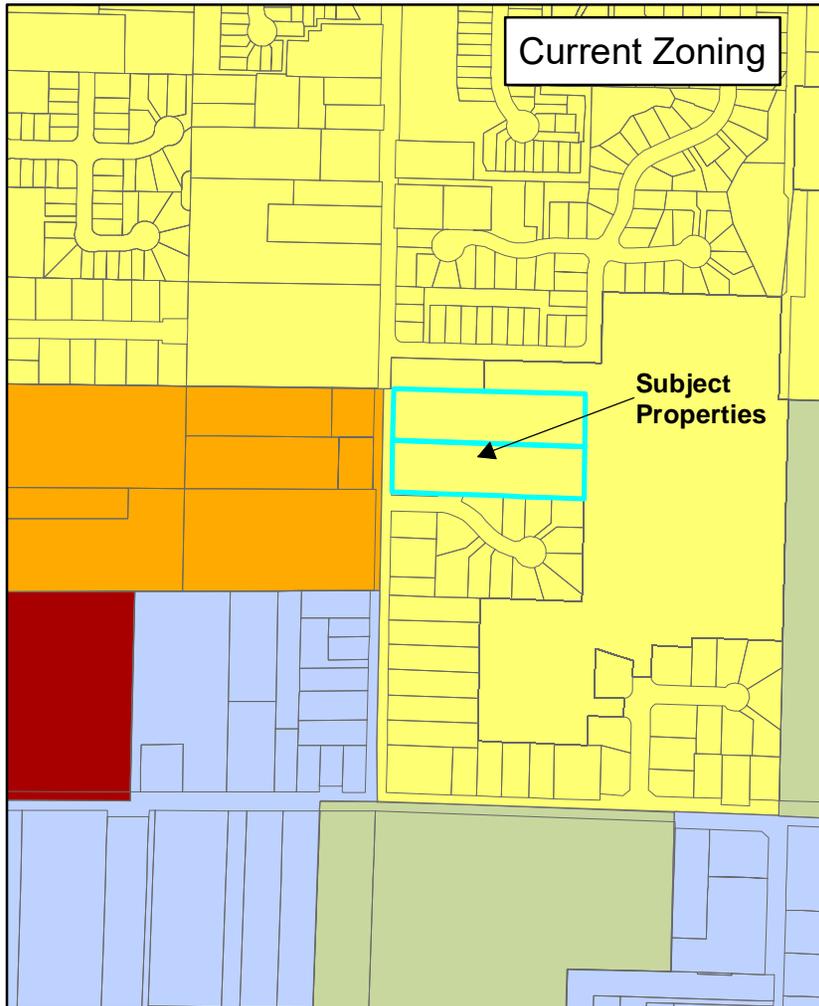
1/13/17
Date

Approved,



Russ Wright, Planning & Community Development Director

1/13/17
Date



Libengood Rezone Map

-  Lake Stevens Boundary
-  Unincorporated UGA
-  Parcels

- City Zones**
-  Urban Residential (UR)
 -  High Urban Residential (HUR)
 -  Neighborhood Business (NB)
 -  Business District (BD)
 -  Public / Semi-Public (P/PS)



All data, information and maps are provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The city of Lake Stevens makes no warranties, expressed or implied as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information and maps are dynamic and in a constant state of maintenance, correction and update.

Data Sources: Snohomish County (2016), City of Lake Stevens (2016)

Date: March 2017



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LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda Date: April 11, 2017

Subject: 2017 Comprehensive Plan Docket Ratification - Resolution 2017-07

Contact Person/Department: Stacie Pratschner, Senior Planner /
Russ Wright, Community
Development Director **Budget Impact:** N/A

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL:

1. Hold a public authorization hearing on proposed Comprehensive Plan map and text amendments to determine if the proposals merit consideration on the 2017 Docket (**Attachment 1**).
2. Set the 2017 Comprehensive Plan Docket by adopting Resolution 2017-07.

SUMMARY: Public hearing to consider two (2) city-initiated amendments to the land use map and city-initiated text amendments proposed for inclusion on the 2017 Comprehensive Plan Docket summarized in – Docket Proposal Table (**Exhibit A – Attachment 1**).

BACKGROUND/ HISTORY: Under the Growth Management Act, the city can amend its Comprehensive Plan and Future Land Use Map once per year, with a few exceptions, through an annual docket process. The Comprehensive Plan provides a specific docket review process (Chapter 1, pages I-14 through I-20). Annual amendments are intended to address the following items:

- Major or minor land use and road classification changes;
- Amendments to Plan text including support data and implementation;
- Changes to Element maps;
- Minor changes to policies or clarification; and
- Other minor text changes.

A staff summary and analysis for each map and text proposal (**Attachment 2**) describes how each proposed amendment is consistent with the annual amendment and ratification criteria along with a recommendation from the Planning Commission after their public hearing held on March 15, 2017 (**Attachment 3**). Maps are also included (**Attachment 4**) to demonstrate the proposed land use map and zoning changes to the Chapel Hill properties (Item M-1: LUA's 2017-0017 and LUA2017-0018) and the Eagle Ridge Park properties (Item M-2: LUA's 2017-0050 and 2017-0054).

DISCUSSION: Staff will discuss ratification criteria specified in the Comprehensive Plan, summarize the proposed amendments and provide findings and recommendations.

If docketed, city staff will conduct additional analysis based on the merits of the application compared to established review criteria. This review will inform the recommendation by the Planning Commission and

action by the City Council. This action is to set the 2017 Docket only and not a recommendation of approval or denial of any amendments.

APPLICABLE CITY POLICIES: Comprehensive Plan (Chapter 1, pages I-14 through I-20)

BUDGET IMPACT: None

ATTACHMENTS:

1. Resolution 2017-07
Exhibit A: Docket Proposal Table
2. Analysis Sheets
3. Planning Commission Recommendation
4. Chapel Hill and Eagle Ridge Park Maps

Exhibit 1

CITY OF LAKE STEVENS LAKE STEVENS, WASHINGTON

RESOLUTION 2017-07

A RESOLUTION OF THE CITY OF LAKE STEVENS, RATIFYING A LIST OF DOCKET ITEMS FOR FURTHER ANALYSIS FOR THE 2017 COMPREHENSIVE PLAN DOCKET

WHEREAS, the Washington City of Lake Stevens is a City in Snohomish County, Washington, planning under the Growth Management Act; and

WHEREAS, the City of Lake Stevens has established procedures and schedules to update, amend or revise the Comprehensive Plan as required under RCW 36.70A.130(2)(a) no more frequently than once every year; and

WHEREAS, two (2) city-initiated amendments to the land use map with associated rezones and city-initiated text and procedural amendments are proposed for inclusion on the 2017 Comprehensive Plan Docket; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on the proposed list of docket items attached hereto as Exhibit A on March 15, 2017, and all public testimony has been given full consideration and is included in the Planning Commission's recommendation to the City Council; and

WHEREAS, this action is exempt from the requirements of the State Environmental Policy Act (SEPA) pursuant to WAC 197-11-800(19) as a procedural action; and

WHEREAS, each individual proposal will undergo a full and complete SEPA review per Chapter 197-11 WAC and Chapter 16.04 LSMC during the analysis phase taking into consideration the interrelationship and cumulative effect of all requests as required under the Growth Management Act per Chapter 36.70A RCW.

WHEREAS, the City Council conducted a duly noticed public hearing on the proposed list of docket items listed in Exhibit A on April 11, 2017 and considered all public testimony and the Planning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAKE STEVENS AS FOLLOWS:

Section 1. Requested Action. The Lake Stevens City Council requests the Department of Planning and Community Development individually analyze the attached list of docket items, prepare reports and present the detailed findings for each item to the Planning Commission and the City Council for action.

Section 2. 2017 Docket. The approved list of proposed items, including two (2) city-initiated amendments to the land use map with associated rezones and city-initiated text amendments and procedural amendments constitute the official 2017 Docket for the City of Lake Stevens and will serve as the only potential Comprehensive Plan changes as allowed under RCW 36.70A.130(2)(a) and the City of Lake Stevens Comprehensive Plan.

Section 3. Severability. If any section, sentence, clause or phrase of this resolution should be held invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this resolution.

Section 4. Effective Date. This resolution shall take effect immediately upon passage by the Lake Stevens City Council.

PASSED by the City Council of the City of Lake Stevens this 11th day of April 2017.

John Spencer, Mayor

ATTEST:

Kathleen Pugh, City Clerk

APPROVED AS TO FORM:

Grant K. Weed, City Attorney

Exhibit A

SUMMARY OF 2017 DOCKET PROPOSALS

RATIFICATION MAPS			
#	<u>NAME</u>	<u>PARCELS/ ACREAGE</u>	<u>REQUEST</u>
M-1	City-Initiated Map Amendment (LUA2017-0017)	Four (4) parcels totaling 4.14 acres.	City request to change the land use designation for four (4) parcels adjacent to 99 th Avenue from Commercial and Mixed Use Neighborhood to Public / Semi-Public to support new civic buildings. The city will also process a concurrent area-wide, minor rezone (LUA2017-0018) to change the zoning designation of the four (4) subject parcels to the Public / Semi-Public zoning designation.
M-2	City-Initiated Map Amendment (LUA2017-0050)	Two (2) parcels totaling 7.63 acres.	City request to change the land use designation for two (2) parcels adjacent to Soper Hill Road from Medium Density Residential to Public / Semi-Public to support park activities. The city will also process a concurrent area-wide, minor rezone (LUA2017-0054) to change the zoning designation of the two (2) subject parcels to the Public / Semi-Public zoning designation.
RATIFICATION TEXT (LUA2017T-6)-0016)			
#	<u>NAME</u>	<u>REQUEST</u>	
T-1	Chapter 2 – Land Use	City-initiated text amendment to modify the description of the Local Commercial land use designation in support of two (2) citizen-requested land use code amendments to permit car washes and mini-storage in the Local Business zoning designation.	
T-2	Chapter 5 – Parks, Recreation & Open Space	City-initiated text amendment to add a park project(s) to the Capital Project List including improvements to North Cove Park, the Hartford Road Walking Path and Lundeen Park.	
T-3	Chapter – 8 Capital Facilities	City-initiated text amendments to add park and road projects to the Capital Project List and 6-year Capital Improvement Plan.	
T-4	Placeholder	Placeholder to address any inconsistencies identified during docket review process.	
T-5	Appendices	Update Appendix A – SEPA Addendum # 10 and FEIS Addendum # 2 (Center Subarea) to be prepared as environmental review for the 2017 Docket.	
T-6	Update Dates & Table of Contents	Update dates, cover, footers, Executive Summary and Table of Contents as needed.	
POTENTIAL DOCKET ITEMS			
Council may add items to the Docket based on recommendation from Planning Commission, discussion of proposed amendments and / or public testimony			

Exhibit 2



2017 Comprehensive Plan Docket Ratification

M-1 - Staff Summary Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017
 Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated map amendment and text amendments to the Comprehensive Plan.

Summary	
Location in Comprehensive Plan: Chapter 2 Land Use Element – Figure 2.3 Land Use Map and associated text amendments.	
Proposed Change(s): City request to change the land use designation for four (4) parcels totaling approximately 4.14 acres adjacent to 99 th Avenue from Commercial and Mixed Use Neighborhood to Public / Semi-Public to support new civic buildings (LUA2017-0017). The city will also process a concurrent area-wide, minor rezone to change the zoning designation of the four (4) subject parcels from Business District and Mixed Use Neighborhood to the Public / Semi-Public zoning designation (LUA2017-0018).	
Applicant: City of Lake Stevens	Property Location(s): 26 99 th Avenue NE, Lake Stevens, WA
Existing Land Use Designations	Proposed Land Use Designation
Commercial and Mixed Use	Public / Semi-Public
Existing Zoning Districts	Proposed Zoning District
Business District and Mixed Use Neighborhood	Public / Semi-Public

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The proposed land use map change is not designed to implement a development regulation or program.	X	

<p>2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed land use map change will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.</p>	X	
<p>3. Is it practical to consider the proposed amendment? Reapplications for reclassification of property reviewed as part of a previous proposal are prohibited, unless the applicant establishes there has been a substantial change of circumstances and support a plan or regulation change at this time. Discussion: The land use designation for the subject properties has not been considered previously.</p>	X	
<p>4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. By extension, this is a Planning and Community Development function.</p>	X	
<p>5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR</p>		X
<p>6. All of the following: a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND Discussion: the proposed minor land use map change meets the following selected goals and policies of the current Comprehensive Plan’s Land Use and Housing Elements.</p> <ul style="list-style-type: none"> • Goal 2.1 provide sufficient land area to meet the projected needs for housing, employment and public facilities within the city of Lake Stevens; • Goal 2.2 Achieve a well-balanced and well-organized combination of residential, commercial, industrial, open space, recreation and public uses; • Goal 2.10 ensure that land uses optimize economic benefit and the enjoyment and protection of natural resources while minimizing the threat to health, safety and welfare; and • Goal 2.14 design and build a healthy community to improve the quality of life for all people who live, work, learn, and play within the city. 	X	

<p>b. The public interest would best be served by considering the proposal in the current year, rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. The city is not considering a subarea plan or other amendments for the property; therefore, there is not a need to postpone review of the request to ensure consistent land use designations in the area.</p>	X	
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Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

M-2 - Staff Summary Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017
 Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated map amendment and text amendments to the Comprehensive Plan.

Summary	
Location in Comprehensive Plan: Chapter 2 Land Use Element – Figure 2.3 Land Use Map and associated text amendments.	
Proposed Change(s): City request to change the land use designation for two (2) parcels totaling approximately 7.63 acres adjacent to Soper Hill Road from Medium Density Residential to Public / Semi-Public to support park activities (LUA2017-0050). The city will also process a concurrent area-wide, minor rezone to change the zoning designation of the two (2) subject parcels from Urban Residential to the Public / Semi-Public zoning designation (LUA2017-0054).	
Applicant: City of Lake Stevens	Property Location(s): 2424 and 2420 Soper Hill Road, Lake Stevens, WA
Existing Land Use Designations	Proposed Land Use Designation
Medium Density Residential	Public / Semi-Public
Existing Zoning Districts	Proposed Zoning District
Urban Residential	Public / Semi-Public

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The proposed land use map change is not designed to implement a development regulation or program.	X	

<p>2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed land use map change will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.</p>	X	
<p>3. Is it practical to consider the proposed amendment? Reapplications for reclassification of property reviewed as part of a previous proposal are prohibited, unless the applicant establishes there has been a substantial change of circumstances and support a plan or regulation change at this time. Discussion: The land use designation for the subject properties has not been considered previously.</p>	X	
<p>4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. By extension, this is a Planning and Community Development function.</p>	X	
<p>5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR</p>		X
<p>6. All of the following: a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND Discussion: the proposed minor land use map change meets the following selected goals and policies of the current Comprehensive Plan’s Land Use and Housing Elements.</p> <ul style="list-style-type: none"> • Goal 2.1 provide sufficient land area to meet the projected needs for housing, employment and public facilities within the city of Lake Stevens; • Goal 2.2 Achieve a well-balanced and well-organized combination of residential, commercial, industrial, open space, recreation and public uses; • Goal 2.10 ensure that land uses optimize economic benefit and the enjoyment and protection of natural resources while minimizing the threat to health, safety and welfare; and • Goal 2.14 design and build a healthy community to improve the quality of life for all people who live, work, learn, and play within the city. 	X	

<p>b. The public interest would best be served by considering the proposal in the current year, rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. The city is not considering a subarea plan or other amendments for the property; therefore, there is not a need to postpone review of the request to ensure consistent land use designations in the area.</p>	X	
--	---	--

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-1 Staff Summary
 Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017
 Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (LUA2016-0016).

Summary
Location in Comprehensive Plan: Chapter 2 – Land Use Element
Proposed Change(s): City-initiated text amendment to modify the description of the Local Commercial land use designation in support of two (2) citizen-requested land use code amendments to permit car washes and mini-storage in the Local Business zoning designation along with other changes that may be identified to this element.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The proposed revision will support concurrent citizen-initiated requests to amend the land use code.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed revisions will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city evaluates amendments to the Comprehensive Plan annually to ensure appropriate projects are identified.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This is a Planning and Community Development department function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X

<p>6. All of the following:</p> <p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND</p> <p>Discussion: The amendments will follow selected goals and policies of the current Comprehensive Plan’s Land Use and Economic Development Elements.</p> <ul style="list-style-type: none"> • Goal 2.10 encourages the city to ensure that land uses optimize economic benefit and the enjoyment and protection of natural resources while minimizing the threat to health, safety and welfare. • Goal 6.4 encourages supporting employment growth in the city by developing zoning for employment/business areas that is flexible to support large employers; • Goal 6.8 encourages supporting businesses and job creation. 	X	
<p>b. The public interest is best served by considering the proposal in the current year rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-2 Staff Summary
 Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017
 Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (**LUA2016-0016**).

Summary
Location in Comprehensive Plan: Chapter 5 - Parks, Recreation & Open Space Element
Proposed Change(s): City-initiated placeholder to add, describe and update the status of parks projects in Chapter 5 and on the Capital Project List, including improvements to North Cove Park, the Hartford Walking Path and Lundeen Park.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The proposed revisions to Chapter 5 are not designed to implement a development regulation or program.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed revisions will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city evaluates amendments to the Capital Facilities plan annually to ensure appropriate projects are identified.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This is a Planning and Community Development department function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X

<p>6. All of the following:</p> <p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND</p> <p>Discussion: The amendments will follow selected goals and policies of the current Comprehensive Plan’s Park and Capital Facilities Element.</p> <ul style="list-style-type: none"> • Goal 5.1 provide a high-quality, diversified parks, recreation and open space system that provides recreational and cultural opportunities for all ages and interest groups; • Goal 5.5 maintain park facilities to maximize life of the facilities and to provide an attractive and pleasing environment for users; • Goal 5.6 the city recognizes that land is in high demand and that acquisitions must be pursued as quickly as possible to implement the community’s vision concurrently with developing and improving existing facilities to achieve a high-quality and balanced park and recreation system; • Goal 9.4 provide needed capital improvements to maintain adopted levels of service. 	X	
<p>b. The public interest is best served by considering the proposal in the current year rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-3 Staff Summary
 Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017
 Planning Commission Hearing Date: March 28, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (**LUA2016-0016**).

Summary
Location in Comprehensive Plan: Chapter 9 - Capital Facilities Element
Proposed Change(s): Placeholder for city-initiated text amendments to add, update and describe park and road projects to the Capital Project List and 6-year Capital Improvement Plan.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The proposed revisions to Chapter 8 are not designed to implement a development regulation or program.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed revisions will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city evaluates amendments to the Capital Facilities plan annually to ensure appropriate projects are identified.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This is a Planning and Community Development department function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X
6. All of the following:	X	

<p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND Discussion: The proposed amendments meet the following selected goals and policies of the current Comprehensive Plan’s Parks, Transportation and Capital Facilities Elements.</p> <ul style="list-style-type: none"> • Goal 5.1 provide a high-quality, diversified parks, recreation and open space system that provides recreational and cultural opportunities for all ages and interest groups; • Goal 5.5 maintain park facilities to maximize life of the facilities and to provide an attractive and pleasing environment for users; • Goal 5.6 the city recognizes that land is in high demand and that acquisitions must be pursued as quickly as possible to implement the community’s vision concurrently with developing and improving existing facilities to achieve a high-quality and balanced park and recreation system; • Goal 8.4 provide a transportation system that supports existing land uses and accommodates anticipated growth; • Goal 8.6 strive for continuous and long term expansions to the trail and pedestrian systems; • Goal 8.7 promote pedestrian and bicycle access to public facilities and centers. • Goal 8.17 maintain, preserve, and operate the existing transportation system in a safe and usable state; • Goal 9.4 provide needed capital improvements to maintain adopted levels of service; and • Goal 9.5 coordinate land use decisions and financial resources with a schedule of capital improvements to meet adopted level of service standards, measurable objectives. 		
<p>b. The public interest is be served by considering the proposal in the current year rather than delaying consideration to a later subarea plan review or plan amendment process. Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-4 Staff Summary

Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017

Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (LUA2016-0016).

Summary
Location in Comprehensive Plan: Placeholder
Proposed Change(s): Placeholder to address any inconsistencies identified during the yearly docket review process.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: Proposed placeholder updates are not designed to implement a development regulation or program.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed placeholder updates will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city reviews its Comprehensive Plan annually.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This a Planning and Community Development function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X
6. All of the following:	X	

<p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND Discussion: The proposed amendments meet the following selected goals and policies of affected Elements.</p> <ul style="list-style-type: none"> • Goal 1.1 provide for a consistent review and revision of the comprehensive plan; • Goal 1.2 ensure that the city’s comprehensive plan is consistent with state, regional and countywide planning policies and ensure each element is internally consistent; and • Others to be evaluated as needed 		
<p>b. The public interest is served by considering the proposal in the current year, rather than delaying consideration to a later subarea plan review or plan amendment process. Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-5 Staff Summary

Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017

Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (**LUA2016-0016**).

Summary
Location in Comprehensive Plan: Appendices
Proposed Change(s): Update Appendix A – SEPA Addendum #10 to be prepared as environmental review for 2017 Docket and FEIS Addendum #2 to be prepared as environmental review for the Chapel Hill Property Land Use Amendment / Rezone (LUA2017-0017 and -0018) within the City of Lake Stevens Center Subarea.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: The preparation of a SEPA addendum will not be designed to implement a development regulation or program.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The SEPA addendum will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city reviews its Comprehensive Plan annually.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This is a Planning and Community Development function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X

<p>6. All of the following:</p> <p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND</p> <p>Discussion: The SEPA addendum will fulfill the following selected goals and policies of the current Comprehensive Plan’s Introductory Element.</p> <ul style="list-style-type: none"> • Goal 1.1 provide for a consistent review and revision of the comprehensive plan; and • Goal 1.2 ensure that the city’s comprehensive plan is consistent with state, regional and countywide planning policies and ensure each element is internally consistent. 	X	
<p>b. The public interest is best served by considering the proposal in the current year, rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		



2017 Comprehensive Plan Docket Ratification

T-6 Staff Summary

Lake Stevens City Council & Planning Commission

City Council Hearing Date: April 11, 2017

Planning Commission Hearing Date: March 15, 2017

SUBJECT: City-initiated text amendment to the Comprehensive Plan (**LUA2016-0016**).

Summary
Location in Comprehensive Plan: Updates to dates, covers, footers, the Executive Summary and the Table of Contents as needed.
Proposed Change(s): Updates to dates, covers, footers, the Executive Summary and the Table of Contents as needed.
Applicant: City of Lake Stevens Planning & Community Development

ANALYSIS: Annual amendments shall not include significant policy changes inconsistent with the adopted Comprehensive Plan Element Visions and must meet the identified criteria included in Revisions and Amendments to the Comprehensive Plan Section H.

Ratification Review – Decision Criteria	Yes	No
1. Is the proposed amendment appropriate to the Comprehensive Plan rather than implementation as a development regulation or program? Discussion: Proposed text updates are not designed to implement a development regulation or program.	X	
2. Is the proposed amendment legal? Does the proposed amendment meet existing state and local laws? Discussion: The proposed text updates will be reviewed against the current Comprehensive Plan and applicable state laws related to process and environmental review.	X	
3. Is it practical to consider the proposed amendment? Discussion: The city reviews its Comprehensive Plan annually.	X	
4. Does the City have the resources, including staff and budget, necessary to review the proposed amendment? Discussion: The Growth Management Act and the city’s Comprehensive Plan set a process to review annual amendments to the Comprehensive Plan. This a Planning and Community Development function.	X	
5. Does the proposed amendment correct an inconsistency within or make a clarification to a provision of the Plan? OR		X

<p>6. All of the following:</p> <p>a. The proposed amendment demonstrates a strong potential to serve the public interest by implementing specifically identified goals of the Comprehensive Plan? AND</p> <p>Discussion: The proposed text updates fulfill the following selected goals and policies of affected Elements.</p> <ul style="list-style-type: none"> • Goal 1.1 provide for a consistent review and revision of the comprehensive plan; • Goal 1.2 ensure that the city’s comprehensive plan is consistent with state, regional and countywide planning policies and ensure each element is internally consistent; and • Others to be evaluated as needed 	X	
<p>b. The public interest is served by considering the proposal in the current year, rather than delaying consideration to a later subarea plan review or plan amendment process.</p> <p>Discussion: The Comprehensive Plan sets a procedure for evaluating amendments annually. There is not a need to postpone review of the request.</p>	X	

Recommendation	Yes	No
Staff recommends City Council and the Planning Commission consider this proposal for inclusion in the 2017 Comprehensive Plan Docket.	X	
The Planning Commission recommends City Council consider this proposal for inclusion in the 2017 Comprehensive Plan Docket (see attached recommendation letter).	X	
The City Council accepts this proposal for inclusion in the 2017 Comprehensive Plan Docket.		

Exhibit 3



Planning & Community Development

1812 Main Street
P.O. Box 257
Lake Stevens, WA 98258

April 5, 2017

Lake Stevens City Council
1812 Main Street
Lake Stevens, WA 98258

Subject: **Planning Commission Recommendation;** and
2017 Comprehensive Plan Docket – Text Amendments (LUA2017-0016) and LUA’s 2017-0017,
2017-0018, 2017-0050 and 2016-0054.

Commissioners Present: Chair Jennifer Davis, Vicky Oslund and Karim Ali
Commissioners Absent: Linda Hoult, Janice Huxford and Brett Gailey

PLANNING COMMISSION PUBLIC HEARING (March 15, 2017)

Community Development Director Russ Wright presented the 2017 Docket and responded to a questions and comments from the Planning Commission and members of the public. Staff discussed the background and overview of the Docket and Comprehensive Plan amendments and presented each proposed amendment individually. Staff concluded each amendment presentation with a discussion of how each proposal meets the approval criteria of the Comprehensive Plan and the GMA. Provided below is a synopsis of the discussions generated by each amendments:

City Text Amendments: Commissioner Trout asked for the definition of the term “placeholder” (Item T-4). Director Wright responded that the Public Works and Parks and Recreation Departments will bring forward project they wish to be included prior to the Docket being reviewed by City Council.

Chapel Hill Properties Amendment/Rezone: No comments.

Eagle Ridge Park Properties Amendment/Rezone: No comments.

FINDINGS AND CONCLUSIONS

The Planning Commission hereby adopts staff’s findings and conclusions as outlined in this staff report and described in the staff reports for each of the docket items, dated March 15, 2017, and concludes that the proposed amendments fulfill the following requirements:

1. The Docket is consistent with the adopted Lake Stevens Comprehensive Plan;
2. The Docket meets the criteria for amending the Comprehensive Plan; and
3. The Docket complies with the Growth Management Act.

PLANNING COMMISSION RECOMMENDATIONS

City Text Amendments, Chapel Hill Properties Amendment/Rezone and Eagle Ridge Park

Amendment/Rezone: Commissioner Ali made a motion to approve the recommendation to Council on the 2017 Docket Ratification (Ratification Items M-1, M-2 and T-1 through T-6). Commissioner Trout seconded. The motion carried 3-0-0-1.

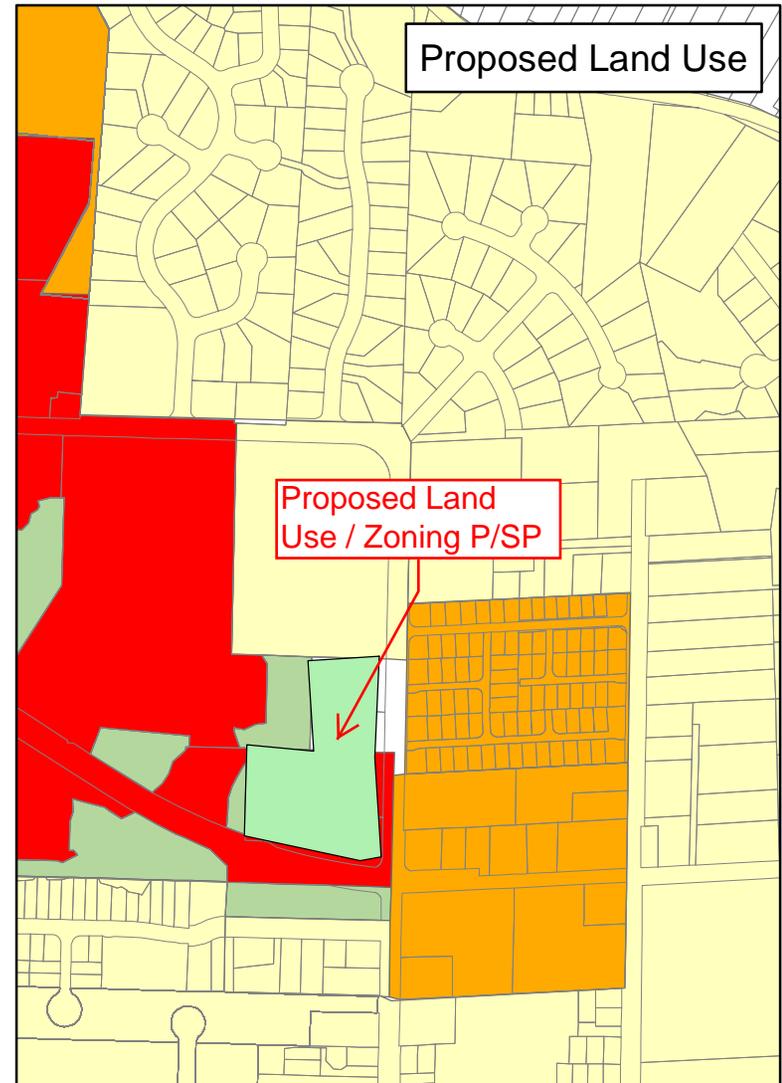
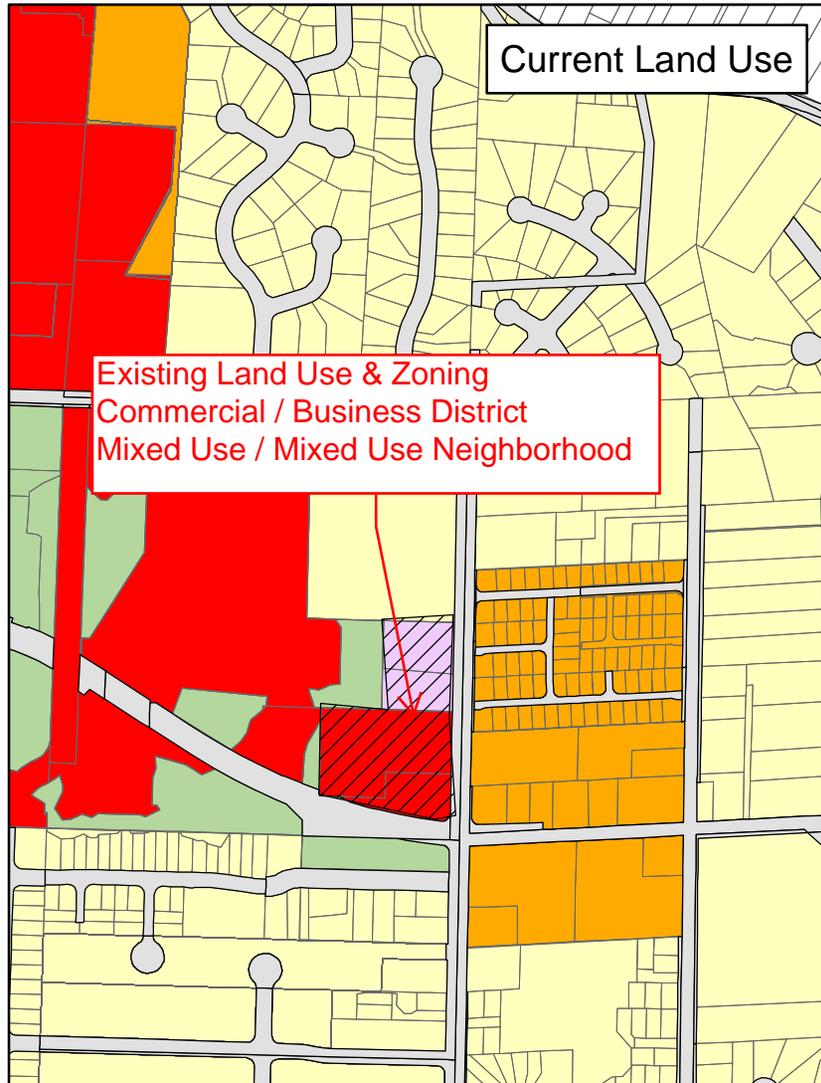
Respectfully submitted,

Lake Stevens Planning Commission

_____, Chair

_____, Vice-Chair

DRAFT



Chapel Hill Land Use Map Amendment

Land Use Designations

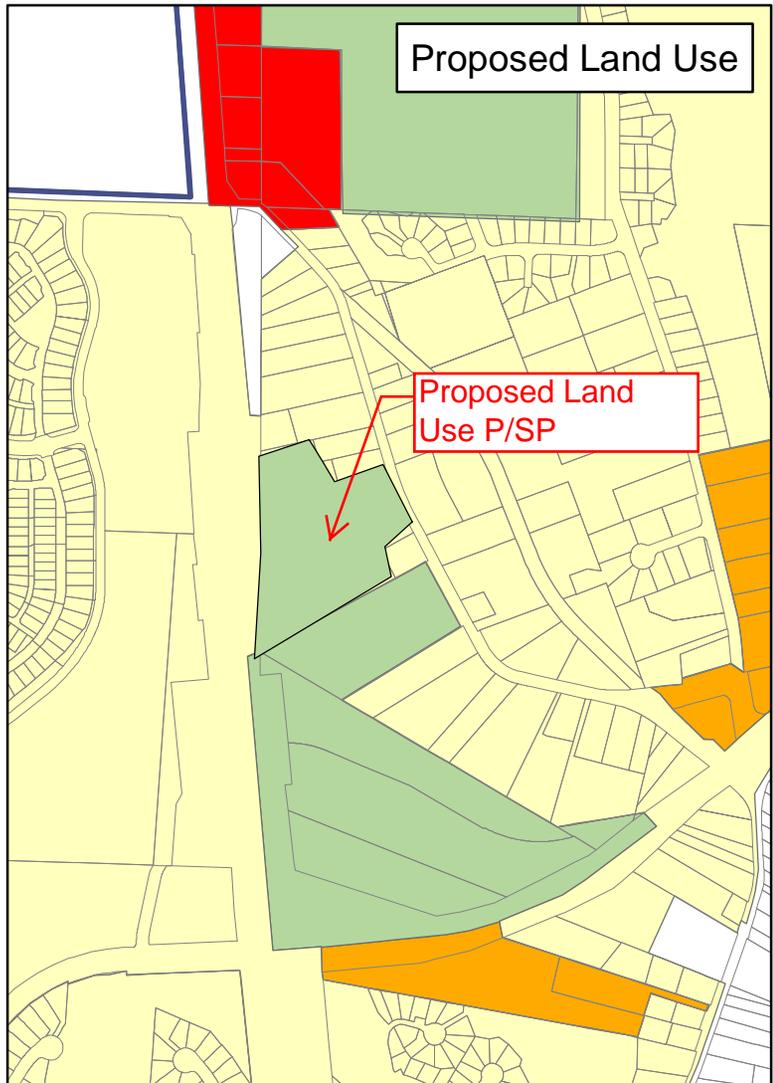
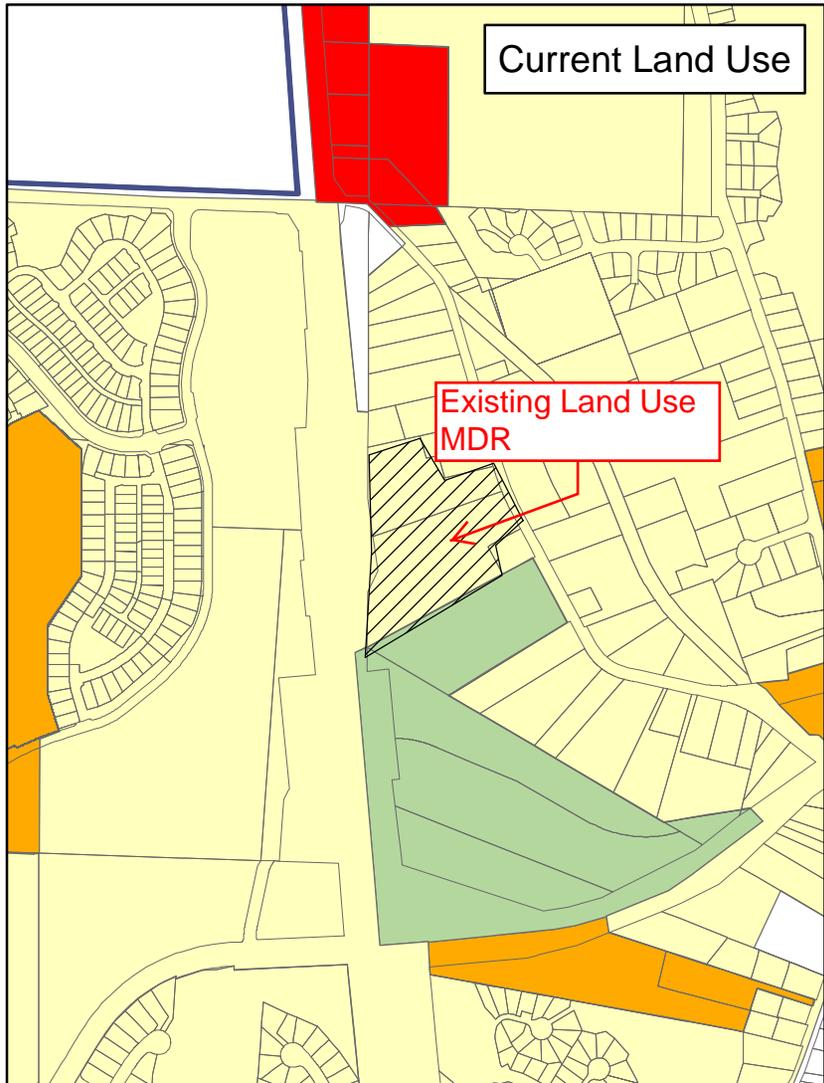
- | | | |
|---|--|---|
|  Commercial |  Public / Semi-Public |  Unincorporated UGA |
|  General Industrial |  Med Density Residential (MDR) |  Lake Stevens Boundary |
|  Planned Business District |  High Density Residential (HDR) |  Parcels |
|  Mixed Use | |  Subject Parcels |



All data, information and maps are provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The city of Lake Stevens makes no warranties, expressed or implied as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requestor acknowledges and accepts all limitations, including the fact that the data, information and maps are dynamic and in a constant state of maintenance, correction and update.

Data Sources: Snohomish County (2017), City of Lake Stevens (2017)

Date: March 2017



Eagle Ridge Land Use Map Amendment

- Land Use Designations**
- Commercial
 - Public / Semi-Public
 - Unincorporated UGA
 - General Industrial
 - Med Density Residential (MDR)
 - Lake Stevens Boundary
 - Parcels
 - Planned Business District
 - High Density Residential (HDR)
 - Subject Parcels



All data, information and maps are provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The city of Lake Stevens makes no warranties, expressed or implied as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requestor acknowledges and accepts all limitations, including the fact that the data, information and maps are dynamic and in a constant state of maintenance, correction and update.



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Memo

To: City Council
From: Mayor Spencer
Date: April 11, 2017
RE: Design Review Board Appointment

The Design Review Board was created under LSMC 14.16C.050 to review and make urban design decisions that will promote visual quality throughout the City. LSMC 14.16.340(b) sets out the requirements for being appointed to the Design Review Board (DRB) as follows:

(b) Appointments and Qualifications.

(1) The Design Review Board shall consist of five individuals, of which at least three are City residents, from the following representatives selected by the City Council and shall include staff as a resource:

(i) At least one member and a designated alternate of the Lake Stevens Planning Commission;

(ii) At least one member and a designated alternate who work as urban design professionals experienced in the disciplines of architecture, landscape architecture, urban design, graphic design or similar disciplines and need not be residents of the City; and

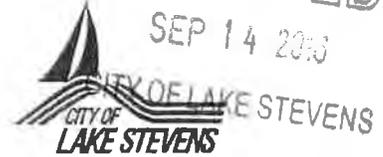
(iii) At least one member and a designated alternate who is a city resident that has expressed an interest in urban design.

Position No. 1 on the Design Review Board is currently vacant. John Vicente interviewed for a Parks Board vacancy on March 9, 2017. Following the interview, Mr. Vicente was contacted and asked if he would like to be a member of the Design Review Board; Mr. Vicente responded he would be pleased to volunteer in this capacity. Mr. Vicente was advised of the nomination process and successfully completed a Washington State Patrol background check. Attached is a copy of Mr. Vicente's application.

It is my recommendation that Mr. Vicente's nomination to the Design Review Board be confirmed and that he be appointed to the Design Review Board Vacant Position No. 1 with a term expiring December 31, 2019.

RECEIVED

SEP 14 2016



APPLICATION FOR MEMBERSHIP:

(Fillable Form OR Print Form and Hand Print Responses – Attach Resume if Desired)

DRB

Park & Recreation Planning Board

NAME: John Vicente

DATE: 09/14/2016

ADDRESS: 1711 77th Ave SE

HOME PHONE: 425-353-4517

CITY/ZIP: Lake Stevens/98258

WORK PHONE: 425-984-6154

EMAIL ADDRESS: eldrichfire@comcast.net

CELL PHONE: 425-353-4517

Are you a City resident? Yes

If yes, how long? 2 years

Are you a registered voter? Yes

For Civil Service Commission **ONLY**: Political Affiliation: _____

(Required per LSMC §2.68.020 C: At the time of appointment, not more than two civil service commissioners shall be adherents of the same party.)

NAME/ADDRESS OF EMPLOYER (and type of business): City of Kenmore, 18120 68th Ave NE, Kenmore - Municipality

EDUCATIONAL BACKGROUND (including year graduated and degrees): Washington State University, Bachelors Degree Civil Engineering 1993

PROFESSIONAL EXPERIENCE: 16 years working in municipal government as a project manager in the Public Works department managing government projects. 7 years in private engineering firms managing inspections and design projects.

ORGANIZED AFFILIATIONS: Member American Public Works Association

WHY ARE YOU SEEKING APPOINTMENT? I am interested in getting more involved in my community. I have worked over 16 years in government and enjoy being an advocate and serving the public and believe I have a lot to offer the City.

WHAT QUALITIES DO YOU POSSESS THAT WOULD ENABLE YOU TO FULFILL THE POSITION? I have extensive knowledge on how things can be built. I understand development and what it takes to make things happen. My experience working as a engineer with the City and working with planning departments gives me a lot of hands on experience working with the public, permitting, and planning projects. I have managed road, bridges, stormwater, and park projects

Please return completed application to:

City of Lake Stevens
Attn: Deputy City Clerk
1812 Main Street, P.O. Box 257
Lake Stevens, WA 98258
OR: deputycityclerk@lakestevenswa.gov
425.334.1012

Signature

Memo

To: City Council
From: Mayor Spencer
Date: April 11, 2017
RE: Parks Board Appointment

Currently Position No. 3 on the Parks Board is vacant. Tina Decker was one of several candidates who interviewed for the position on March 9, 2017. Following the interviews, Ms. Decker was advised of the nomination process and successfully completed a Washington State Patrol background check. Attached is a copy of Ms. Decker's application.

It is my recommendation that Ms. Decker's nomination to the Parks Board be confirmed and that she be appointed to the vacant Position No. 3 with a term expiring December 31, 2019.

APPLICATION FOR MEMBERSHIP:

(Fillable Form OR Print Form and Hand Print Responses - Attach Resume if Desired)

RECEIVED

JAN 23 2017

CITY OF LAKE STEVENS



BACHELOR OF ART / BUSINESS MAJOR

See Below

NAME: TINA DECKER

DATE: 25 JAN 17

ADDRESS: 11 79th DR SE

HOME PHONE: /NA

CITY/ZIP: LAKE STEVENS / 98258

WORK PHONE:

EMAIL ADDRESS: tinadecker73@gmail.com

CELL PHONE: 503-810-9163

Are you a City resident? YES

If yes, how long? 1 1/2 years

Are you a registered voter? YES

For Civil Service Commission ONLY: Political Affiliation: DEMOCRAT

(Required per LSMC §2.68.020 C: At the time of appointment, not more than two civil service commissioners shall be adherents of the same party.)

NAME/ADDRESS OF EMPLOYER (and type of business): NOT EMPLOYED / SUBSTITUTE TEACHER

EDUCATIONAL BACKGROUND (including year graduated and degrees): HIGH SCHOOL - 1983
OREGON STATE - 1988 AIR FORCE OFFICER TRAINING - 1988
LEWIS AND CLARK COLLEGE: MASTERS IN TEACHING - 2010

PROFESSIONAL EXPERIENCE: US AIR FORCE - 1988-1998, IBM -
1998-2001 (Y2K), HOME DEPT LEADERSHIP
PROGRAM - 2002-2003, STAY AT HOME MOM - 2003-present
ELEMENTARY SUBSTITUTE TEACHER - 2010-2015 (OREGON)

ORGANIZED AFFILIATIONS: SOBOPHIST INTERNATIONAL - 10 years, INTERNATIONAL
READING ASSOC., NATIONAL COUNCIL OF TEACHING MATHEMATICS

WHY ARE YOU SEEKING APPOINTMENT? I HAVE ALWAYS GIVEN MY TIME
& TALENTS TO MY COMMUNITY WHEREVER THAT MAY
BE. I THINK SERVICE TO IMPROVE YOUR COMMUNITY
IS AN ESSENTIAL PART OF BEING AN AMERICAN.
WHAT QUALITIES DO YOU POSSESS THAT WOULD ENABLE YOU TO FULFILL THE POSITION? DEDICATED,
COLLABORATOR, ATTENTION TO DETAIL,
LEADERSHIP, ACTIVE LISTENER AND FUN-ENJOYING PEOPLE

Tina E Decker
Signature

Please return completed application to:
City of Lake Stevens
Attn: Deputy City Clerk
1812 Main Street, P.O. Box 257
Lake Stevens, WA 98258
OR: deputycityclerk@lakestevenswa.gov
425.334.1012

*I would like to be considered for these positions (in priority order)

- 1) PARKS + REC
- 2) LIBRARY
- 3) ART
- 4) CIVIL SERVICE COMM.

(over)

* I'VE ATTACHED 3 various resumes
to help you get better acquainted with
me and my contributions through-out
my life thus far.

TINA DECKER

11 79th St Dr., Lake Stevens, WA 98258

tinadecker03@gmail.com

503-810-9163

SEEKING

Opportunity to substitute teach in grades K-5 and related educational areas (music, ELL, Special Ed, etc.) at the elementary school level.

EDUCATION

Master of Arts in Teaching - Lewis & Clark College, Portland, OR

Bachelor of Science - Major: Business Administration, Minor: Speech Communications / Journalism, Oregon State University, Corvallis, OR

Pre-Professional Program - Elementary Education, 34 Undergraduate Hours, Portland State University, Portland, OR

LICENSE

Oregon Initial I Teaching License, 2010, Early Childhood / Elementary, Multiple Subjects Contained endorsement

Oregon Initial II Teaching License, 2015, Early Childhood / Elementary, Multiple Subjects Contained endorsement

LANGUAGES AND TRAVEL

Spanish – working knowledge, **Italian** – limited proficiency, **Arab & Hebrew** – basic common courtesies

Travels, United States: Lived: 7 - Alabama, California, Mississippi, Oregon, Utah, Virginia, Washington;

Visited: 36 states and territories including Washington D.C., Alaska, Hawaii, and Puerto Rico

Travels, International: Lived: 3 - Saudi Arabia (1993), Italy (1996-1998), Israel (2010-2011); Visited: 23 - England, Germany, Switzerland, Denmark, Czech Republic, France, Spain, Belgium, Slovenia, Croatia, Turkey, Egypt, Greece, Jordan, Austria, Costa Rica, Belize, Mexico, Bahamas, Various Caribbean Islands, and Canada

LICENSED EDUCATION EXPERIENCE

Substitute Teacher. West Linn-Wilsonville School District. **Over 920 hours** instructing in Grades K-5 and Special Education. Primarily pre-arranged assignments for 20 teachers during 2011 – 2014 school years

- Delivered instruction utilizing principals of multiple intelligences and zone of proximal development
- Implemented comprehensive classroom management techniques creating safe, creative and industrious learning environments while establishing strong and immediate student-teacher rapport
- Provided productive and positive instruction to wide variety of special-needs students
- Executed lesson plans for math, reading, writing, social studies, character building, and art successfully
- Created on-the-spot lessons when necessary, ensuring continuity with stated learning targets
- Ran reader's and writer's workshops with multiple stations and provided mini lessons
- Taught both experiential and self-directed lessons in small and whole-group to classes sized 17 to 29 students
- Developed environmental print to assist with long-term learning
- Incorporated Spanish and Chinese language within classroom learning activities as appropriate

Reading Specialist. Kumon. 2010. Lake Oswego, OR. Developed learning pathways for students based on the Kumon methodology and student's aptitude and goals. Provided reading instruction to 12 students twice a week.

Private Tutor. Instructed utilizing writing, reading, and math *Common Core Standards* to medically fragile student

STUDENT TEACHING OUTCOMES

Budding Authors Unit:

- Created ten comprehensive lesson plans, associated rubrics and data collection systems
- Increased total number of words written by the class from 1,033 pre-test to 2,189 post-test - doubling the amount of writing accomplished – through individual, differentiated and data-driven instruction

TINA DECKER

EDUCATIONAL ASSOCIATION MEMBERSHIPS

- International Reading Association
- National Council of Teaching of Mathematics

CURRICULUM AND ASSESSMENT TOOL SKILL SETS

- Investigations, in Number, Data and Space
- Foss Science Kits
- Sitton Spelling and Work Skills
- Developmental Reading Assessment
- Words Their Way Spelling Inventory, Daily 5, CAFE

OTHER PROFESSIONAL EXPERIENCE

Decker Business Consulting, (2007 – 2010) Analyzed 15 Neighborhood Association (NA) By-laws for City of West Linn. Compared and contrasted by-laws to each other and city codes. Developed NA Presidents, Members, and Residence At Large surveys. Researched comparable cities by-laws, Oregon Statutes, and city archived documents. Culminated in 247 page report with additional 70 page recommendation on standardization. Resulted in 8 NA's revises and standardizing by-laws.

Store Leadership Program, Home Depot, (2002 – 2003) Selected as 1 of 561 nationwide executive trainees (out of over 20,000 applicants) for company's first-ever official executive leadership training program specifically targeted to bring new talent in from outside the organization. Completed two-year education program, culminating in Assistant Store Manager Position.

Junior Project Manager, IBM (1998-2001) Developed information systems project management plans, conducted software application requirements analysis, developed and delivered quality assurance training and provided team support for Y2K computer enterprise overhauls.

Officer, United States Air Force (1988 – 1998) Led teams to conduct management engineering studies, quality improvement initiatives, and strategic planning. Advised generals on most efficient and effective use of manpower resources. Developed combat manpower plans. Managed base-wide suggestion program. Trained AF Recruiters on marketing techniques.

OTHER VOLUNTEER ACTIVITIES

Member, City of West Linn Library Advisory Board. (2009-2010) Assisted with development of first-ever City of West Linn Library Strategic Plan. Created customer surveys. Developed methodology. Resulted in City obtaining \$1 million dollar grant to build additional parking lot.

Chair, City of West Linn Library Advisory Board. (2008) Assisted with voter campaign to garner stable funding for libraries within Clackamas County. Measure passed with voter approval rate of 61%. Revised board policy and procedures manual. Created first-ever annual goals. Developed and received approval from City Council on city code changes regarding board.

West Linn Chamber of Commerce. (2008) Developed implemented take-over of Farmers Market from City of West Linn.

Member, City of West Linn Police Advisory Board. (2006 – 2007) Analyzed staffing patterns and requirements. Developed justification to increase staffing. Recommendation approved and implemented by City Council.

Soroptimist International of Portland East. (1999-2010). Club President, 2002. An International women's service organization that conducts projects to enhance the quality of life for women and children, throughout the world and in the local community. Club provided over \$1 million dollars during the past 10 years in grants to local, regional, national, and international organizations that support stated goals.

PROFESSIONAL AWARDS AND RECOGNITION

- Air Force Meritorious Service Medal, 1998 and 1994 & Air Force Commendation Medal, 1992 and 1996
- Top Support Flight, 1996, 368th Air Force Recruiting Group – out of 17-state territory
- Company Grade Officer of the Quarter, 1994, Headquarters, Air Combat Command, Manpower Division
- Best Air Force Suggestion Program, 1991, Pentagon-level award

KRISTINA E. KINCAID

404 N.E. 69th Ave
Portland, OR 97213
(503) 252 – 3070
Cell: (503) 901 – 0310

OPERATIONS MANAGER

Enthusiastic, dedicated professional with solid project, people and budget management experience. Able to effectively lead diverse staffs and projects. Proven success in operations management, human resources, information technology, process improvement and organizational analysis.

“A very positive, motivated, inquisitive, ‘get the job done’ kind of person. She is a delight to work with, and always has a beneficial impact on team morale and project results.”

Doug Shand – IBM, Principal

“Her leadership style builds an atmosphere of harmony and teamwork. She is innovative, flexible and exceptional at seeing tough problems and projects through to completion.”

Linda R. James, HQ TAC, Det. Commander

CAREER HIGHLIGHTS

Successfully managed budget of over \$1M while managing logistics, information systems, human resources, administration, procurements, and marketing departments.

Increased non-profit art development center revenue 18% from previous year through focused marketing and retooling programs.

Reduced wait time from average of 43 minutes to remarkable 8 minutes by improving operating processes. – improvements implemented throughout all European Air Force bases.

Achieved 114% increase in number of applicants gained through advertising from previous year by developing and implementing a progressive advertising campaign.

Helped 13 new employees achieve 115% of goal by training them on progressive promotional techniques.

LEADERSHIP

- Managed manpower and quality offices at 3 separate locations – reporting directly to senior leader; supervised staff, advising approximately 35 leadership team members concerning most efficient and effective use of over 4,000 human resource positions at each location.
- Conducted root-cause analysis concerning a client’s request for a \$500K refund – final report highly praised by Western-area VP – recommendations helped turn project completely around.

OPERATIONS MANAGEMENT

- Implemented Total Quality Management principals in all branches – several improved processes became national standards; garnered top rating of “Excellent Performance” – only office to receive top rating within a 17-state territory during calendar year 1997.
- Supervised base-wide process improvement program. Assisted with development and implementation of marketing plan, significantly increasing employee participation and netting U.S. taxpayers over \$1.6 million in annual savings.

BUDGET MANAGEMENT

- Managed over 29,000 consulting hours combined in 11 contracts and valued over \$8 million dollars for a technology project with a major grocery chain—efforts minimized customer billing inquiries.
- Supervised financial team during austere fiscal year; advice and leadership aided in keeping organization fully functionally without any major disruptions to operations.

KRISTINA E. KINCAID, PAGE TWO

PROFESSIONAL SUMMARY

Associate Project Manager, IBM Business Innovation Services – Portland, OR	1998 – 2001
Chief, 31 st Fighter Wing Manpower and Quality Office – Aviano Air Base, Italy	1996 – 1998
Commander, 368 th Recruiting Squadron Support Flight – Hill Air Force Base, UT	1995 – 1996
Chief, 368 th Recruiting Squadron Advertising Branch – Hill Air Force Base, UT	1994 – 1995
Chief, 4401 st Wing Manpower Office – Dhahran, Saudi Arabia	1993 – 1994
Organizational Analyst, HQ Air Combat Command – Langley Air Force Base, VA	1992 – 1993
Chief, 35 th Fighter Wing Manpower Office – Victorville, CA	1991 – 1992

EDUCATION

BS, Business Administration, Oregon State University – Corvallis, OR 1988

- Marketing and Management Science concentration
- Speech Communication and Journalism minor

CIVIC ACTIVITIES

Chi Omega Alumni Association of Portland 1988 – Present

- Assisted with functions supporting local safe-haven for victims of domestic violence
- Assisted with new membership drive – efforts helped double size of organization

Soroptimist International, Portland-East 1998 – Present

- Facilitated first-time development of mission statement, short/long-term goals, and action plans
- Chairman of Public Relations committee

TRAINING

Air Force Reserve Officer Training Program – Received Commission in 1988

Various Microsoft Office and Lotus Suite software applications

Total Quality Management Team Leader Course

Financial Management for Project Managers

Manpower Management Engineering Course

Leadership in a Project Team Environment

Organizational Analysis Course

AWARDS

Air Force Meritorious Service Medal 1994 & 1998

Air Force Commendation Medal 1992 & 1996

Top Support Flight – 368th Air Force Recruiting Group – out of 17 – state territory 1996

Officer of the Year – 368th Air Force Recruiting Squadron 1995

Company Grade Officer of the Quarter – HQ ACC, Manpower Division 1994

Best Air Force Suggestion Program – Pentagon – level recognition 1991

KRISTINA E. KINCAID

PERMANENT ADDRESS

1631 S.E. 59th St.
Portland, Oregon 97215
(503) 236-8803

CURRENT ADDRESS

7651 Merastone Ln. NE #E303
Bremerton, Washington 98310
(206) 692-5945

EDUCATION

OREGON STATE UNIVERSITY, Corvallis, Oregon. 1983-1988. Received Bachelor of Science degree. Majored in Business Administration, with a concentration in Marketing. Minored in Speech Communication and Journalism.

CLEVELAND HIGH SCHOOL, Portland, Oregon. 1981-1983. Graduated in top 10% of 273 member class.

WORK EXPERIENCE

OREGON STATE UNIVERSITY, Corvallis, Oregon. 1983-1988.

MANAGER, Memorial Union Craft Center. Summer 1988. Directed and oversaw the Craft Center's facilities and programs. Responsibilities included: administering \$44,000 budget; managing 27 member staff; publicizing, organizing and monitoring classes for 425 students including: 10 eight-week adult craft classes, 13 craft workshops and 5 children craft classes; obtaining and assisting 140 Craft Center studio users; upkeeping all tools and equipment and maintaining retail inventory levels. Achieved a record setting 18% increase in income over previous summers.

WORKSHOP COORDINATOR, Memorial Union Craft Center. 1985-1988 academic years. For 150 workshops responsibilities included: contacting instructors; obtaining materials; securing facilities; compensating instructors; coordinating with staff; publicizing workshops; and maintaining enrollment.

STUDIO ASSISTANT, Memorial Union Craft Center. 1983-1985 academic years. Responsibilities included: answering questions of the public both in person and on the phone; registering university students and community members for classes and workshops; obtaining tools and equipment for members; and upkeeping facilities and equipment.

KELLY TEMPORARY SERVICES, Portland, Oregon. Summer 1987.

RECEPTIONIST. Responsibilities included: aiding the public both in person and on the phone; assisting co-workers with light typing and filing. Learned to adapt quickly and effectively to unfamiliar environments. Was resourceful, flexible, professional, and dynamic at each work site.

SWEET TIBBIE DUNBAR FINE-DINING RESTAURANT, Portland, Oregon. Summer 1985

HOSTESS. Responsibilities included: greeting the public; answering questions; meeting customers requests and needs; assuring waiters and waitresses equal amounts of customers; and taking reservations.

EXTRACURRICULAR ACTIVITIES

OREGON STATE UNIVERSITY

ACADEMIC REGULATIONS STUDENT/FACULTY COMMITTEE MEMBER. Involved the reviewing, discussing and revamping of current Oregon State University academic regulations. Created new regulations in preparation for a semester system change-over. Required attending weekly meetings, holding hearings, gathering information, and coordinating with other student/faculty and faculty committees.

PERSONNEL CHAIRMAN FOR CHI OMEGA SORORITY. Purpose of position is to stimulate harmony among members, to strengthen organizational purpose and to assist in maintaining an orderly atmosphere. Responsibilities included: counseling, inspiring, unifying and disciplining 85 house members; attending and addressing weekly executive council and chapter meetings; designing and implementing group unity programs; enforcing the rules and regulations of the local chapter, Oregon State University and The National Sorority. Directed Personnel Board meetings as needed.

ASSOCIATED STUDENTS OF OREGON STATE UNIVERSITY STUDENT AFFAIRS TASK FORCE. Assignment included the developing, integrating, and evaluating of a campus wide compliment, complaint and suggestion system. Required coordinating with university departments; designing response forms; researching locations and setting up feedback systems. The system was successful within 10 week trial period, and enhanced communications between university departments and student body. Resulted in actual departmental policy changes.

CLEVELAND HIGH SCHOOL

NATIONAL HONOR SOCIETY. President, 1983. Secretary, 1982. Member, 1981.

CHEERLEADER. Captain, 1983, 1982. Varsity, 1981. Junior Varsity, Co-Captain, 1980.

GIRLS LEAGUE. Vice-President, 1983. Member, 1982.

OREGON GIRLS STATE. Elected U.S. Representative and City Mayor.

CROSS COUNTRY. Lettered 1983, 1982.

CHOIR. Member 1983, 1982, 1981, 1980.

PORTLAND ROSE FESTIVAL HIGH SCHOOL COURT MEMBER.

References furnished upon request.



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LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda Date: 4/11/2017

Subject: ISOutsource Professional Services Contract – Amendment No. 1

Staff/Department: Troy Stevens / Information Services **Budget Impact:** N/A

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL:

Approve ISOutsource Professional Services Contract Amendment No. 1

SUMMARY/BACKGROUND:

ISOutsource Proposed Scope of Work

The IT Department (ITD) has worked with Kevin Watkins from ISOutsource to develop a plan to mitigate some of the findings that were outlined in the Business Technical Assessment and Plan (BTAP) as well as the outcomes from our IT Survey.

The ITD and Kevin have determined that 6 hours per week will be sufficient to resolve identified concerns, implement IT Projects, and will augment our IT staffing levels.

Items identified in BTAP report:

- User/Computer Account Management and Auditing
 - The ITD will purchase software (ManageEngine Log360) that will provide automated monitoring and reporting on all accounts.
 - Reports will be forward to Departments Heads for review to ensure only authorized users have access to resources.
- Server and Service Monitoring and Auditing
 - This will be covered with the above software package.
 - All servers have antivirus/malware software installed.
- Backup/Recovery
 - The current backup server is due for replacement. This will be included in next year's budget request.
 - The current system can sustain current operations; it has 1.5 TB free space on the backup repository.
 - This backup/recovery solution is under a yearly support and maintenance agreement, making new product releases and fixes available to us. This solution also allows for secondary backup sites to be used as a replication of the primary site, at no additional charge. The City must provide the hardware for the secondary backup storage site, which can be recommissioned from old hardware already owned.
- Policies and Procedures
 - Review current policies and procedures and make recommended changes.
 - Draft new policies and procedures to fill any gaps in our current set of policies.

Projects and Items Identified by ITD Survey

- End-User Computing and Expectations

- Develop a Centralized Desktop Deployment Solution.
- Create Standardized Desktop Images to be deployed to workstations/MDT.
- Implementations of ITD Service Desk for users to enter support tickets for tracking and accountability.
- Review our Patch Management Strategy, and Desktop Maintenance Plans
- Develop a plan and training for Office 365 OneDrive and SharePoint Online
- Create and test Group Policies to allow printer drivers to be installed without administrator passwords, and other settings to ensure a more consistent desktop experience across devices.
- Server/Network Infrastructure
 - Deploy Microsoft BitLocker Administration Manager to enable centralized management of mobile hard drive encryption keys. These are currently managed manually.
 - Build Desktop and Application Virtualization services. To provide portal for teleworkers to gain access to enterprise applications, future thin clients, and application streaming to enhance or streamline enterprise desktop images.
 - Telephone Systems upgrade

APPLICABLE CITY POLICIES:

BUDGET IMPACT: Not to Exceed \$80,000.00 (additional \$55,000 over payments to date)

ATTACHMENTS:

- ▶ Exhibit A: Amendment No. 1 to Professional Services Agreement

EXHIBIT A

**AMENDMENT NO. 1 TO
PROFESSIONAL SERVICES AGREEMENT BETWEEN CITY OF LAKE
STEVENS, WASHINGTON AND DAH CORPORATION DBA ISOUTSOURCE
FOR CONSULTANT SERVICES**

This Amendment No. 1 to Professional Services Agreement with between City of Lake Stevens, Washington (“City”) and DAH Corporation dba ISOutsource (“Consultant”) is made and entered into this _____ day of April, 2017.

WITNESSETH THAT:

WHEREAS, the City and Consultant entered into a Professional Services Agreement dated May 17, 2016 wherein Consultant agreed to provide consulting services regarding a Business Technology Assessment and Plan (BTAP) for both the City and Lake Stevens Fire, and

WHEREAS, the City and Consultant wish to continue and extend the term of Professional Services Agreement,

NOW, THEREFORE,

1. Paragraph III.3 of the Professional Services Agreement is amended to extend the term of the agreement through December 31, 2017.
2. Paragraph IV.1(a) is amended to increase the amount of compensation paid by City to Consultant in an amount not to exceed \$80,000.
3. Except as expressly amended by this Amendment No. 1, all other terms and conditions of the original Professional Services Agreement shall remain in full force and effect.

IN WITNESS WEHREOF, the parties hereto have executed this Amendment No. 1 to Professional Services Agreement as of the date first above written.

CITY OF LAKE STEVENS

DAH CORPORATION DBA ISOUTSOURCE

By: _____
John Spencer, Mayor

By: _____
Richard Brunke, President

Approved as to Form:

Grant K. Weed, City Attorney



Master Client Agreement

Terms and Conditions (Revised 08/25/2015)

This Master Client Agreement ("Agreement") is entered into by DAH Corporation, a Washington corporation dba **ISO Outsourcing** ("ISO Outsourcing"), and the below named client ("Client"). ISO Outsourcing delivery of products and services requested by Client shall be governed by the following terms and conditions:

- 1) Client agrees to pay the applicable fees set forth on Schedule 1 attached hereto for products or services ordered from ISO Outsourcing. ISO Outsourcing may change such fees at any time upon delivery of 30 days prior written notice to Client.
- 2) All fees set forth on Schedule 1 are exclusive of applicable taxes. Client shall pay and be solely responsible for all taxes for products and services ordered from ISO Outsourcing.
- 3) Subject to ISO Outsourcing approval of Client's credit, payment for products and services shall be due via Net 15 day terms from invoice date. A late charge of the lesser of 1.5% per month or the highest rate permitted by law will be added for any amounts not paid when due.
- 4) If Client disputes any product, service, or invoice, Client must deliver written notice of such dispute to ISO Outsourcing within 15 days of delivery of such product, service, or invoice to Client. Client shall be deemed to waive any and all disputes with respect to such product, service, or invoice unless written notice of the dispute is delivered to ISO Outsourcing within such 15-day period.
- 5) ISO OUTSOURCING'S TOTAL LIABILITY TO CLIENT (OR ANY PERSON OR ENTITY CLAIMING BY OR THROUGH CLIENT) SHALL NOT EXCEED THE COST OF REPAIRING OR REPLACING CLIENT'S PROPERTY DIRECTLY DAMAGED BY ISO OUTSOURCING'S NEGLIGENCE OR BREACH OF THIS AGREEMENT. ISO OUTSOURCING SHALL HAVE NO LIABILITY FOR FAILURES, OR LOSSES DUE TO FAILURES OF ANY HARDWARE OR SOFTWARE SYSTEMS OR FOR PRODUCTS PROVIDED BY OR SERVICES PERFORMED BY ANY THIRD PARTY. ISO OUTSOURCING SHALL NOT BE RESPONSIBLE TO CLIENT (OR ANY PERSON OR ENTITY CLAIMING THROUGH CLIENT) FOR LOSS OF PRODUCTIVITY, PROFITS, OR FOR ANY OTHER FORM OF SPECIAL, INDIRECT, OR CONSEQUENTIAL DAMAGES, WHETHER RESULTING FROM NEGLIGENCE, BREACH OF THIS AGREEMENT OR OTHERWISE, AND EVEN IF THE POSSIBILITY OF SUCH IS, OR WAS, FORESEEABLE BY CLIENT, ISO OUTSOURCING OR ANY OTHER PERSON OR ENTITY. IF CLIENT HAS BRANCH OFFICES, FRANCHISEES, CUSTOMERS OR AGENTS OF ANY KIND WHO USE THESE SERVICES, CLIENT IS RESPONSIBLE FOR ENSURING SUCH ENTITIES HAVE KNOWLEDGE OF THE LIMITATIONS OF LIABILITY.
- 6) Client understands that ISO Outsourcing is not a staffing agency and agrees that Client will not hire either current employees of ISO Outsourcing, or persons who have been employed within the last 2 years by ISO Outsourcing who worked on Client's account, during this Agreement and/or for a period of 2 years following the termination of this Agreement. The costs, damages, and overall consequences of losing an employee cannot be fully and exactly stated. However, a reasonable forecast of the harm to ISO Outsourcing given the technical area involved in this agreement, and other issues, is \$250,000. If Client breaches this section of the Agreement ISO Outsourcing has the right to an injunction barring Client from hiring the employee, or to demand liquidated damages of \$250,000 which is payable on the date of the hire; with interest on this amount at the highest rate allowed under Washington law, alternatively, at its option, ISO Outsourcing shall have the right to prove actual damages from the breach of this Agreement.
- 7) Client is responsible for all industry and legal compliance expertise and the management thereof. ISO Outsourcing is responsible for providing services in a workmanlike fashion under the direction of Client and using common IT best practices. Accordingly, Client agrees to defend, indemnify and hold harmless ISO Outsourcing and its officers, directors, employees, subcontractors and agents from and against any and all claims, demands, actions, settlements or judgments, including attorneys' fees, litigation expenses, fines and penalties, based upon or arising out of any violation of Client's contractual obligations, or any violation of Client's compliance or industry-specific requirements under state or federal laws and regulations including, but not limited to: The Health Insurance Portability and Accountability Act of 1996 (Pub.L. 104-191, 110 Stat. 1936) ("HIPAA") and subsequent amendments, The Sarbanes-Oxley Act of 2002 (Pub.L. 107-204, 116 Stat. 745) ("Sarbanes Oxley"), and The Dodd-Frank Wall Street Reform and Consumer Protection Act (Pub.L. 111-203, H.R. 4173) ("Dodd-Frank"). Client shall also hold harmless ISO Outsourcing and its officers, directors, employees, subcontractors and agents from and against any and all claims, including attorneys' fees and expenses, arising out of any franchisee, branch office, customer, agent or end-user of Client.
- 8) This Agreement shall be governed by and construed in accordance with the laws of the State of Washington without giving effect to principles regarding conflict of laws. Any action or proceeding brought by any party against another arising out of or relating to this Agreement shall be brought in a state or federal court of competent subject matter jurisdiction located within King County in the State of Washington. Each party hereby waives the right to a jury trial. If either party hereto brings any action to enforce such party's rights hereunder, the prevailing party in such action shall be entitled to recover reasonable attorneys' fees and costs incurred in connection with such action.
- 9) This Agreement contains the entire agreement of the parties (along with supporting schedules and documents). All verbal representations and statements of any kind are merged into this Agreement. Any modification of this Agreement must be written and signed by both parties.

Agreed to and accepted by the undersigned as of _____, 20_____.

Client:

ISO Outsourcing:

DAH Corporation

By: _____

By: _____

Printed Name: _____

Printed Name: _____

Title: _____

Title: _____



SCHEDULE 1

SCHEDULE OF RATES

Effective 1/1/2017

Services:

Work Role Resource	Regular Hourly Rate	Prepaid Block Hourly Rate*
Support Tech	\$138	\$128
Consultant / Systems Engineer	\$170	\$160
Senior Consultant / Senior Systems Engineer	\$190	\$180
Managing Consultant / Solutions Architect	\$208	\$198
Virtual Chief Information Officer(vCIO) / Subject Matter Expert(SME)	\$228	\$218

Business Hours:

Work Type	Time of Day	Hourly Rate
Regular Weekday	6:00AM through 6:00PM (Mon-Fri)	Regular/Prepaid Block Rate
Evening Weekday	6:00PM through 6:00AM (Mon-Fri)	1.25 x Regular/Prepaid Block Rate
Weekend	Friday 6:00PM through Monday 6:00AM	1.50 x Regular/Prepaid Block Rate
Company Holiday	12:00AM through 11:59PM	1.50 x Regular/Prepaid Block Rate

Remote Monitoring, Management and Support Services:

Service	Monthly Rate
Remote Server Health Checks	\$100.00 per server
Server Monitoring, Anti-Virus and Patch Management	\$25.00 per server
Desktop/Laptop Monitoring, Inventory, Anti-Virus and Patch Mgt	\$5.00 per desktop/laptop
Remote Desktop Support	Contact Us for Pricing

Minimum Time Billed, Travel Time, Parking and Mileage:

Minimum time billed is 15 minutes.
 Travel time is billed door to door.
 There are NO additional charges for parking and mileage.

Sales Tax:

Rates EXCLUDE applicable state and local sales tax.

****Rate Discounts Available via our Prepaid Block of Support Program***

Purchasing a Prepaid Block of Support (BOS) discounts the Regular Hourly Rate by ***\$10 per hour***. The Prepaid BOS must be paid in advance and used within 12 months of purchase. The size of the BOS is based on your monthly IT Support Plan and budget. Renewal invoices will be automatically sent once the BOS balance drops below \$500. Your real time BOS balance can be accessed at any time via our Customer Portal. The BOS size is reviewed quarterly to ensure that it is in sync with your budgeted level of service provided monthly.



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STAFF REPORT



Council Agenda Date: 11 April 2017

Subject: Eurasian Watermilfoil Services - Year-7 Implementation of Application Strategy Plan and Post Services

Contact Person:

Eric Durpos

Budget Impact: \$44,250

Department:

Public Works

Not to exceed

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL: Authorize Supplement No. 1 to the current contract with AquaTechnex, LLC to perform the year 7 pre and post survey and recommend control measures as part of the 2011 implementation of Application Strategy Plan for an amount of \$44,250.

SUMMARY/BACKGROUND: In 2010, the City, in partnership with the County, performed a study of the lake's Eurasian Milfoil problem and had prepared an Integrated Aquatic Plant Control Plan (Plan) to provide a long term solution to dealing with this weed problem. The Plan was adopted in early 2011 and implementation of the Plan started that year. The Plan recommended the treatment method, implementation schedule, and an estimated budget. In brief, the Plan recommended an initial full lake treatment (Year-1), a follow up spot treatment (Year-2 and Year-3), and monitoring thereafter with spot treatments as needed. The action proposed in this report is the pre and post survey and spot treatment part of the Year-7 follow up treatment.

In April 2016 the City awarded the second 5 year Eurasian Watermilfoil Services contract to AquaTechnex. This 5 year contract allows the City to supplement the contract annually through 2020. While an approximate 99% eradication level has been reached, annual treatment has been found necessary to maintain this level.

The Year-7 treatment is expected to be the same chemical treatment method (Triclopyr) used since the beginning of this program in 2011. Treatment is proposed to be performed in June.

APPLICABLE CITY POLICIES: None

BUDGET IMPACT: \$44,250 included in the 2017 Council approved budget.

ATTACHMENTS:

- ▶ Attachment A: Professional Service Agreement Supplemental No. 1

ATTACHMENT A

**SUPPLEMENTAL AGREEMENT NO. 1
TO PROFESSIONAL SERVICES AGREEMENT
BETWEEN CITY OF LAKE STEVENS AND
AQUATECHNEX, LLC FOR EURASIAN WATERMILFOIL SERVICES**

This Supplemental Agreement No. 1 is made and entered into on the ____ day of _____, 2017, between the City of Lake Stevens, hereinafter called the "City" and Aquatechnex, LLC, hereinafter called the "Consultant."

WITNESSETH THAT:

WHEREAS, the parties hereto have previously entered into an Agreement for Eurasian Watermilfoil service, hereinafter called the "Project," said Agreement being dated 22nd April 2016; and

WHEREAS, both parties desire to supplement said Agreement, by expanding the Scope of Services to provide for project description and to amend the total amount payable for this Agreement,

NOW THEREFORE, in consideration of the terms, conditions, covenants and performance contained herein or attached and incorporated, and made a part hereof, the parties hereto agree as follows:

Each and every provision of the Original Agreement for Professional Services dated 22nd April 2016, shall remain in full force and effect, except as modified in the following sections:

1. Article II of the Original Agreement, "SCOPE OF SERVICES", shall be supplemented to include the Scope of Services as described in Exhibit A1, attached hereto and by this reference made part of this Supplemental Agreement No. 1.

2. Article IV of the Original Agreement, "OBLIGATIONS OF THE CITY", Paragraph IV.1 Payments, Section (a), the second sentence is amended to include the additional Consultant fee of \$44,250.00 and shall read as follows: "In no event shall total payment under this agreement exceed \$88,500.00"

The Total Amount payable to the Consultant is summarized as follows:

Original Agreement	\$44,250.00
Supplemental Agreement No.1	\$44,250.00
Grand Total	\$88,500.00

IN WITNESS WHEREOF, the parties hereto have executed this SUPPLEMENTAL AGREEMENT NO. 1 as of the day and year first above written.

CITY OF LAKE STEVENS

CONTRACTOR NAME

By: _____
John Spencer, Mayor

By: _____

Printed Name & Title

ATTEST/AUTHENTICATED

By: _____
Kathy Pugh, Deputy City Clerk

APPROVED AS TO FORM:

Grant K. Weed, City Attorney

EXHIBIT A1

Scope of Services for Summer 2017 – Eurasian Milfoil Services

The summer of 2017 will be the sixth year of implementation of the Integrated Aquatic Vegetation Management Plan to target noxious aquatic weed growth in Lake Stevens. This plan was developed by the City and focused on large scale herbicide treatments followed up by survey and diver removal/treatment as necessary.

This coming summer, based on the budget available, we would propose the following tasks.

Task One, Early Survey. In mid to late May, our mapping crew will visit the lake, perform a survey to map aquatic vegetation present and Eurasian Milfoil presence. We will report our findings to the City and if warranted will propose a treatment mission for early Summer. If treatment is suggested at this point, we will provide a map with recommendations and number of acres. We would use the per acre pricing below to propose a total cost. If the survey does not find infestations that need to be targeted, we will repeat the survey as task four below later in the summer and again report results to the City. The cost for this survey and report will be \$3,000.00.

Task Two, Public Notification. If a treatment is necessary, prior to treatment, Ecology permits required a 10 day notification be delivered to the residents along treatment shorelines and for some distance in each direction from the treatment plots. These notices will be hand delivered and documented. The cost for printing, travel and deliver will be \$500.00

Task Three, Treatment of known sites. Aquatechnex will mobilize treatment equipment and crews to target Eurasian Milfoil infestation at mapped locations with the approval of the City. The cost per acre for treatment based on water depths would be \$1,125.00. Aquatechnex will submit a map with exact treatment recommendations to the City prior to application for approval and the exact number of acres found and reported to the City will be targeted.

Task Four, Later Summer survey. At mid to late summer a second survey will be performed to document additional E. Milfoil sites if present and evaluate control achieved if an early treatment is warranted. The cost of this survey would be \$3,000.00

Task Five, Recommend additional scope of work as necessary. Based on results and survey work, our team will suggest additional tasks if warranted for the summer of 2017 with associated costs. No charge for this task.

Task	With Renovate OTF	Subtotal
Task One	\$3,000.00	\$3,000.00
Task Two	\$500.00	\$500.00
Task Three (assumes up to 34 acres)	\$1,125.00 per acre	\$38,250.00
Task Four	\$2,500.00	\$2,500.00
Task Five	\$0.00	\$0.00
Totals		\$44,250.00
Does not include sales tax		

We understand the budget for this project is not to exceed \$45,000.00.



LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda

Date: April 11, 2017

Subject: Paddle Board Concession – Paddle Broz, LLC

Contact	Jim Haugen,	Budget	Concession
Person/Department:	<u>Parks & Recreation Coordinator</u>	Impact:	<u>fees</u>

RECOMMENDATION/ACTION REQUESTED OF COUNCIL: Grant Mayor Spencer the authority to sign a Property Use and Concession Agreement with Paddle Broz, LLC. This agreement is an extension of the agreement dated June 14, 2016

SUMMARY/BACKGROUND:

Last year, Paddle Broz, LLC entered into an Agreement, dated Jun 14, 2016 with the City of Lake Stevens, to operate a paddle board/kayak rental concession at Lundeen Park and to sell packaged food and drinks in the Lundeen Park Concession Building. Paddle Broz, LLC would like to extend the Agreement for an additional year, as stated in the original Agreement. The concessions agreement has been updated as well as their business plan.

The Paddle Broz pilot program was a success in 2016 with over 1,700 paddle board/kayak rentals. Paddle Broz provided income to the City of Lake Stevens of \$1,781 and provided employment for two adults, three college students and seven high school students. Many of the younger staff entered the workforce for the first time. Paddle Broz was a nice compliment to Lundeen Park activities with their concession business and ongoing presence. New safety rules have been incorporated and the experience gained from last year's business will contribute to a more successful operation in 2017.

Staff has reviewed the proposal with the Parks Subcommittee and the Economic Development Subcommittees.

APPLICABLE CITY POLICIES:

BUDGET IMPACT: Concession fees paid to the city

ATTACHMENTS:

- ▶ Exhibit A: Paddle Broz, LLC Business Plan 2017
- ▶ Exhibit B: Site Plan
- ▶ Exhibit C: Lake Stevens Property Use and Concession Agreement for 2017



Stand Up Paddle Board/Kayak Rentals
and Concessions

Business Plan Exhibit A

Angela Albriksen, Owner
Travis Garbutt, Manager

www.PaddleBroz.com
PaddleBroz@gmail.com
(425)232-1615

A. A description of the organization responsible for the management of the rental services, including status as a limited liability corporation, partnership; mission; and other pertinent information.

Paddle Broz was formed in May 2016 and is registered as an LLC. Paddle Broz is committed to connecting the community to Lake Stevens; offering safe and fun water activities through their rentals and lessons. Paddle Broz will be operating at Lundeen Park. We offer stand up paddle board and kayak rentals as well as paddle board lessons. We offer group packages and Special Events.

B. A list of resumes for the persons responsible for the overall management of the rental services at the Park.

Angela Albriksen grew up in Snohomish County. She knows the area well and has built successful relationships with many people in the community. Angela has been a paddle boarder for years now, and it is the main recreational activity for her family. During the summer months, she can be seen driving a carload of kids with paddle boards strapped to the top of her car to neighborhood lakes. It is this love of paddle boarding, mixed with her time spent running a general contracting business (Ecoworks Homes, Inc., along with her husband, Kendall), that has led Angela to create Paddle Broz. Working with children is another passion of hers. She has a Master's degree in Elementary Education and a Bachelor's degree in child psychology. Employing teens and being a part of their first work experience, teaching the ropes of being a good employee, relating to the public, and learning individual strengths will be so fun and rewarding for her! Experience and a mind for business, combined with a love of kids, gives Angela all the necessary skills needed to run this business.

Travis Garbutt will be a full-time employee and manager of Paddle Broz. As a native of the country of Belize, Travis grew up with the ocean at his back door and has spent his entire life on the water. He began his career in the tourist industry as a teen in Belize where he gained experience working alongside customers while snorkeling, SCUBA diving, kayaking, fishing, boating, etc. For the past 14 years, Travis has had the opportunity to captain a variety of boats including: sailboats, outboard vessels, and catamarans. He has a gift for communicating with people and experience educating them on activities on and in the water. Four years ago, Travis moved to the area when he married Angela's sister. He is so excited to bring his love of water activities, and experience, to the Lake Stevens community.

C. A detailed description of the services to be provided.

- * Rental of Stand-Up Paddle Boards and Kayaks. Rentals are by the hour.
- * Stand Up Paddle Board Lessons
- * Sales of Refreshments and Snacks
- * Birthday Party Packages that could be combined with rental of picnic shelter through City of Lake Stevens.
- * "Board" Meetings- for local businesses to bring their employees for team building

D. Operating schedule for services being provided.

Paddle Broz will be open 2017 for a summer season from Memorial Day to Labor Day 6 days a week (closed Mondays). This is a seasonal operation "Weather Dependent."

E. Any requirements for participation in services being provided such as age restrictions, experience, certifications, membership, etc.

- * Participants must sign a waiver- If a minor, parents must sign for them. (See attached)
- * Participants must have no medical or physical conditions which could interfere with their safety.
- * Must be 12 yrs. old + or accompanied by an adult.
- * All Participants must wear a personal flotation device (PFD with Safety whistle)
- * All Participants must wear a leash while on a SUP board.

F. Marketing and promotional plans for the services.

- * Create and maintain a website and social media pages
- * Brochure
- * Signage for entrance to Lundeen Park, in the park, and at the concession stand.
- * Have information distributed electronically through Community E-Fliers in local schools in Lake Stevens, Snohomish and Everett School Districts.
- * Donations to non-profits and to the public.
- * Hiring local high school students as employees

G. Utilization of Park Facilities

We would require space in the Lundeen Park concessions building and in the connected fenced in area to store the rental equipment of paddle boards and kayaks, and the concessions items. Public Restrooms would be used by employees. Power, Garbage and Water would be used in the building for concessions. We would like to have use of the Freezer and Refrigerator currently in the concessions building. Entrance and exit to the water will occur on the side of the dock away from the beach.

H. Plan for ensuring continued public use of the beach and park areas during operation of services.

The public beach will be kept clear by us for use by the public; employees will park in general parking at Lundeen park. Paddle Boards/Kayaks will be out during business hours on the grassy area by the chain link fence on the side where we will enter/exit the water.

I. Proposed fee structure for rentals and other concession items.

Kayak rentals- \$22 first hour. Each additional is \$15.00

SUP Rental- \$22 first hour. Each additional is \$15.00

SUP Lessons- \$45 per person/60-minute lesson

Snacks/drinks- \$1-\$3

J. Description of safety requirements and general approach to safety for employees and customers.

- * PFD (personal flotation device) with safety whistle approved by the USCG must be worn while on the water on any watercraft.
- * Leash must be worn while on a SUP board.
- * All Crew members are CPR/first-aid certified
- * All Crew Members have completed the NASBLA Sanctioned Paddle Sports Safety Course.
- * General Instruction is provided and a Pre-Departure Checklist will be gone over with participant. See attached.
- * Employees will have a pair of binoculars to keep an eye on customers that are out on the water. 1 employee will remain at water's edge to watch for any need for them to go out to assist customers.
- * Boards/kayaks will be numbered on the bottom and there will be a USCG certified Paddle Smart Identification Sticker on the bottom of each board/kayak. A "Paddle Plan" will be written out so that staff know who is out on the water at all times.



K. Description of signage including placement, number and size of signs.

Paddle Broz will have 2 signs, showing name and hours of operation. One will be placed outside of the park giving direction and one in the park. One banner sign (2' by 6') will be placed on the concessions building.

L. Rent amount or percentage of revenue proposed to be paid to the City for use of the Park and the right to engage in concession.

Percentage of revenue to be paid to the City will be 5% of the Gross Profits.

M. Anticipated Revenue and Expenditures.

Paddle Broz will start with 12 brand new stand up paddle boards, 4 single kayaks, 2 double kayaks and will purchase more as the need arises. We will make an initial purchase of a variety of snacks and drinks for the concession area and then purchase to refill items that are selling. We are looking for a \$25,000 gross revenue this season and look forward to growing in inventory, offerings, and revenue with each additional year. We will continue to invest in Paddle Broz in order to offer our community the best waterfront experience.

N. Resume of Owner and Manager- includes past/present employers and reputable members of the community.

Angela Albrigtsen (Owner)

Brad McDaniel
McDaniel's Do It Center
(425) 231-3458

Lance Peters
V.P. Glacier Peak High School
(425) 359- 0173

Nancy Mickels
Employer
Nancy's Noah's Ark
(206) 459-3366

Travis Garbutt (Manager)

Ched Cabral
Former Employer
Reef Adventures, Belize
011-501-226-2538

Kendall Albrigtsen
Former Employer
Ecoworks Homes, Inc.
(206) 786-3522

Michael Zirnheld
Former Tenant
(425) 870-3988

Paddle Broz Pre-Departure Checklist

1. Boat Smart from the Start- **WEAR a Life Jacket!** - Properly fitted and doesn't ride higher than your ears or mouth. Must be worn at all times. If life jacket is removed during activity, participant will not be allowed to rent from this location again. 85% of all drowning victims were NOT wearing life jackets. Wearing a life jacket is the single best thing you can do to prevent drowning.
2. **Signals for Distress**- Wave paddle in the air from side to side for non-emergency assistance, for emergency blow whistle on life jacket and wave paddle in the air from side to side. DO NOT blow whistle for any reason other than an emergency.
3. File a "**Paddle Plan**"- On the Whiteboard write Name, Board #, Physical Description, Time out and Time in.
4. If there is Lightning or any disturbing weather, paddle to shore and exit the water immediately.
5. For the safety of the participant, no one will be allowed to participate while appearing to be impaired or intoxicated due to drugs or alcohol. Determination will be made by Supervisor on Shift. One drink on land is the same as 3 on the water. We care about you and your safety! Please return when sober and we will be happy to have you participate.
6. Route and Pace- In general, remain **close to the shore** in the cove. Keep a lookout for and avoid motorized vessels. Keep an eye on time to arrive back to shore at designated time.
7. To avoid capsizing, take waves and the wake from boats at a 45 degree angle.

Paddle Broz, LLC Waiver for 2017 Participant Agreement, Release and Acknowledgment of Risk

Date _____/_____/_____

In consideration of the services of Paddle Broz, LLC, a Washington Limited Liability Company, their agents, owners, officers, volunteers, participants, employees and any entity acting in any capacity on their behalf (Hereinafter collectively referred to as "Paddle Broz"), and the City of Lake Stevens, I do hereby release and discharge Paddle Broz from liability, on behalf of myself, my children, my parents, my heirs, assigns, personal representative and estate as follows:

I acknowledge that Stand Up Paddling/Kayaking entails known and unanticipated risks, which could result in physical or emotional injury, paralysis, death, or damage to myself, to property, or to third parties. I understand that such risks cannot be eliminated without jeopardizing essential qualities of the activity. The risks include, among other things, capsizing, drowning, or being hit by watercraft. Also, Paddle Broz has a difficult job. They seek safety but are not infallible. They may be ignorant of a participant's fitness or abilities. I agree to accept and assume all of the risks existing in this activity. My participation is purely voluntary, and I elect to participate in spite of the risks.

I hereby voluntarily release, forever discharge, and agree to indemnify and hold harmless Paddle Broz as listed herein from any and all claims, demands, or causes of action, which are in any way connected with my participation in this activity and my use of Paddle Broz equipment or facilitates, including any such claims which allege negligent acts or omissions of Paddle Broz.

Should Paddle Broz or anyone acting on their behalf be required to incur attorney's fees and costs to enforce this agreement which shall be interpreted under Washington law, without regard to conflict of laws, I agree to indemnify and hold them harmless for all such fees and costs. I certify that I have adequate insurance to cover any injury or damage I may cause or suffer while participating, or else I agree to bear the costs of such injury or damage to myself and all for who I am signing on their behalf.

I further certify that I have no medical or physical conditions which could interfere with my safety in this activity, and I am willing to assume- and bear costs of- all risks that may be created, directly or indirectly, by any such condition whether I know about it or not. Please disclose and medical conditions that could interfere with your safety (i.e. pregnancy, heart disease, etc.) _____

If preexisting condition exists you will be allowed to participate with doctor certification that this activity is permitted and that you are under their supervision.

I understand that All Participants Must Be Good Swimmers and use of a provided PFD (personal flotation device) is required in accordance with the laws. Please provide a number between 1-10 with 1 being can't swim to 10 being excellent swimmer- _____

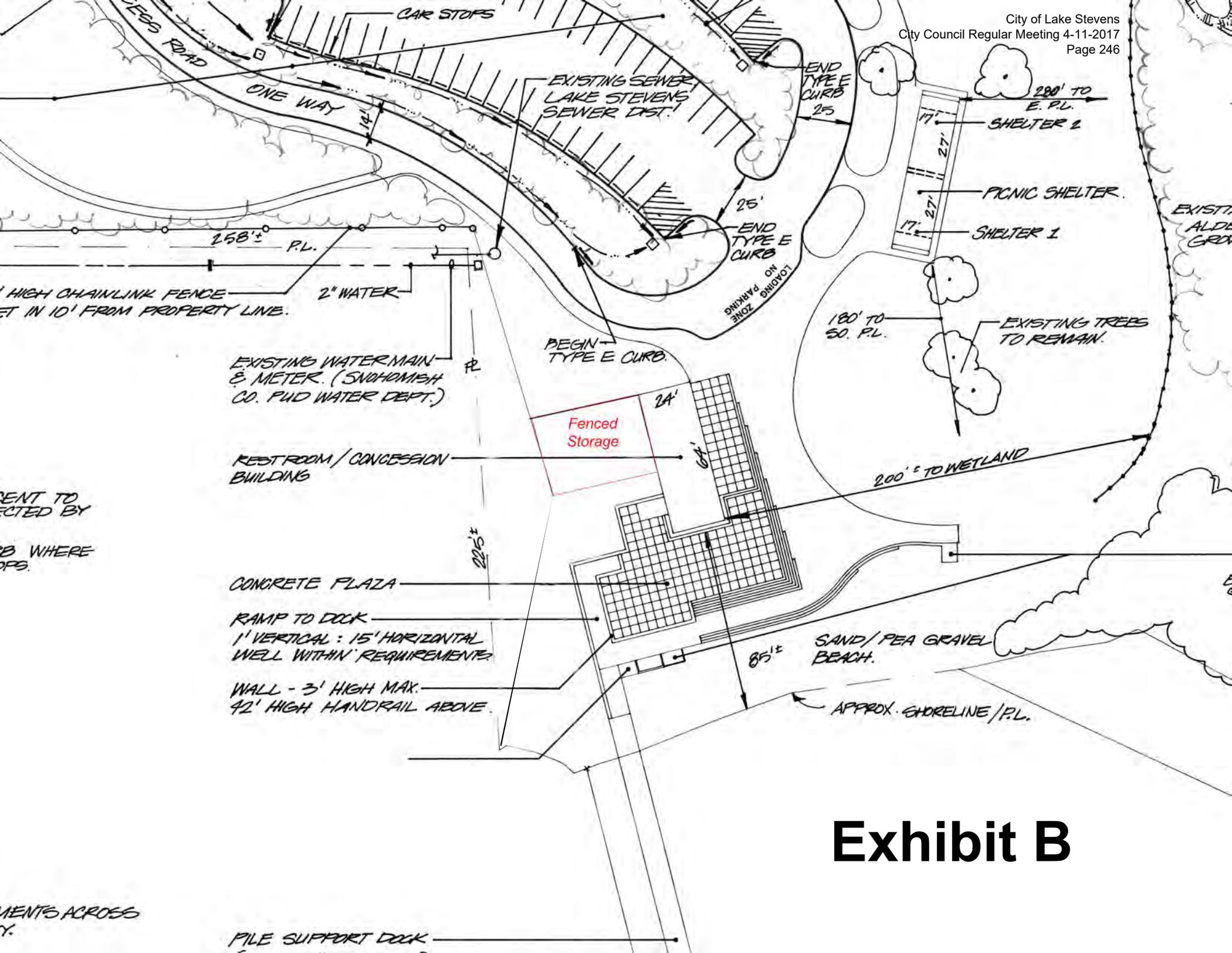


Exhibit B



THIS AGREEMENT is made and entered into this ___ day of _____ 2017, by and between the **CITY OF LAKE STEVENS**, a municipal corporation, hereinafter referred to as "**City**", and **Paddle Broz, LLC, DBA Paddle Broz** hereinafter referred to as "**Vendor**."

WITNESSETH

City hereby grants to Vendor the nonexclusive right, license, and privilege to utilize **Lundeen Park in Lake Stevens**, hereinafter referred to as "**the Park**," and facilities located in the Park, in the manner and for the purpose hereinafter specified. The following terms, conditions, and covenants shall govern this Agreement:

GRANT OF USE - SERVICES

Vendor is granted the nonexclusive right to operate and conduct the activities and services described in Exhibit A, Scope of Services ("Services") in the portion of the Park described and depicted on Exhibit B ("Premises"). Exhibit A contains a description and schedule of Services, description of equipment, marketing and promotional plans, rental costs, safety requirements, staff responsibilities and requirements, storage, signage, and cleanup responsibilities. Prices charged by the Vendor to patrons for the Services must be comparable and competitive with (or lower than) those generally charged in the area for similar Services. The City, acting through the Planning and Community Development Director or designee, may approve changes to the rental cost and other provisions of Exhibit B upon request of the Vendor.

In return for use of the Premises, Vendor shall pay the City five percent (5%) of Vendor's gross revenues collected for the Services, payable in monthly installments by the 10th day of each month. Vendor shall provide a monthly sales report to the City in accordance with this agreement.

TERM OF AGREEMENT

This Agreement shall begin on May 19, 2017 and end on September 12, 2017. If both parties agree in writing, this agreement can be extended for two additional years.

LICENSING AND OTHER REQUIREMENTS

Vendor shall, at its own expense, obtain all necessary licenses for the Services. Vendor shall possess a City business license at all times while doing business in the City. Any modifications or improvements to the Premises required by regulatory agencies, or any modifications or improvements mutually agreed upon by Vendor and the City, shall be installed at the sole expense of Vendor and requires advance written approval from the City Administrator or designee. It is the responsibility of Vendor to obtain all applicable permits needed to install the modifications or improvements. The modifications and improvements shall become the property of the City upon completion of installation; provided that Vendor shall be entitled to utilize the modifications and improvements in accordance with this Agreement while this Agreement is in effect.



INDEPENDENT CONTRACTOR

This Agreement is not a contract of employment and Vendor is an independent entity with respect to the business and Services hereunder. Nothing in this Agreement shall be considered to create the relationship of employer and employee between the parties. Any assistants, volunteers, or other help used by Vendor are and shall be deemed to be employees of Vendor and not employees of the City.

Vendor shall be responsible in full for any payment due its employees, including workers compensation and related costs and agrees to save, hold harmless and indemnify the City from payment therefore and from any fee, fine, and/or premium resulting from Vendor's failure to pay the same to State agencies.

INSURANCE

For all of its business, use and activities under this Agreement, Vendor shall obtain and maintain for the duration of this Agreement, policies of Commercial General Liability with combined single limits of not less than \$2,000,000 per occurrence, \$2,000,000 general aggregate with an insurer having no less than an AM Best rating of A:VII and authorized to do business in the State of Washington. A \$2,000,000 products/completed operations aggregate is required for contractors that prepare food. The insurance policies shall be written on an occurrence basis. City shall be named as an additional insured and a copy of the endorsement naming the City as an additional insured shall be attached to the Certificates of Insurance. Vendor shall provide a Certificate of Insurance with applicable Additional insured endorsements for both CGL coverage and products/completed operations with the City prior to Vendor using the Park and/or providing services.

Vendor's maintenance of insurance as required by this Agreement shall not be construed to limit the liability of Vendor to the coverage provided by such insurance, or otherwise limit the City's recourse to any remedy available at law or in equity.

The insurance policy shall contain or be endorsed to contain that the Vendor's insurance coverage shall be primary insurance as respects to the City. Any insurance, self-insurance or insurance pool coverage shall be excess of the Vendor's insurance and shall not contribute with it.

HOLD HARMLESS/INDEMNIFICATION

Vendor shall defend, indemnify and hold the City, its officers, officials, employees and volunteers harmless from any and all claims, injuries, damages, losses or suits including attorney fees, arising out of or resulting from the acts, error or omissions of Vendor with respect to performance of this Agreement and for any and all services conducted by or activities engaged in by Vendor in the Park or Premises, or construction of modifications or improvements under this Agreement, except for injuries and damages caused by the sole negligence of the City.

RULES GOVERNING CONCESSION OPERATION

1. The concessionaire is authorized to only provide ready to eat, non-perishable, pre-packaged food, non-alcoholic beverages and other pre-approved items for resale to the general public



- at reasonable prices, unless prior approval is granted from affected agencies including but not limited to the city and Snohomish Health District.
2. That approved concession site will only be used as a site to provide snacks, beverages and approved items and services and the Concessionaire agrees to not let or sublet the whole or any part of the concession or assign this agreement or any interest within the property described.
 3. Concessionaire will not provide fountain drinks, drinks that require cups with lids and straws, Styrofoam cups or products in glass containers of any kind.
 4. Concessionaire shall not stock, offer to sell or sell any tobacco, tobacco products or any souvenirs, counter toys, pictures or items considered novelties.
 5. All personal property kept at the concession stand shall be at their own risk. The City will not be held liable for, in any manner or account, of any loss or damage sustained by action of fire, water, elements, theft or any third party.
 6. The Concessionaire will be responsible for all litter clean up.
 7. A refundable "Damage and Litter Deposit" of \$100, made payable to the City of Lake Stevens, will be required (LSMC 10.03.170). The deposit must be received fourteen (14) days prior to the contract commencement date.
 8. All or some of the "Damage and Litter Deposit" may be deducted by the City for any repairs or maintenance including additional litter pickup that the Public Works Department may be required to do. Additional charges will be billed to the Concessionaire if the repair or maintenance exceeds the Damage and Litter Deposit. Repair and maintenance amounts will reflect the current hourly billing rate for a Public Works employee and the amount of the repair.
 9. The Concessionaire operating hours will be from 8:30 a.m. until dusk. No exceptions will be made without prior written approval from the Planning and Community Development Director or his/her designee. Concessionaire operating hours during a special event will be reflected in the Concession Agreement.
 10. The Concessionaire is responsible for paying all taxes, wages and other costs associated with the sale and distribution of items from the Concession.
 11. Concessionaire shall ensure those that work in the concession are at least fourteen (14) years old. There must be one adult supervisor for every three minors; adult supervisors must be at least eighteen (18) years old.
 12. As Concessionaires will be operating in parks where youth and children are present, the Concessionaire is required to undergo and pass a Washington State Patrol background check.
 13. The background check will be completed and results provided to the City no less than fourteen (14) days prior to the date of contract.
 14. Concessionaire shall comply with all City of Lake Stevens rules and regulations. If at any time any members of the business behave inappropriately or in a manner that conflicts with any laws, park codes, or rules and regulations outlined in this contract, they will be asked to leave and this contract will be terminated.



EQUIPMENT STORAGE

Vendor may store its kayaks, canoes, SUP's, bicycles, and all equipment and supplies related to the Services ("Equipment and Supplies") in the fenced storage area adjacent to the west side of the concession building as shown on Exhibit B. Any rack, shelving or other storage amenities will be made at the sole expense of the Vendor and approved by the Planning and Community Development Director or designee. Any additional storage requirements must be approved by the Planning and Community Development Director or designee. The City is not responsible for lost, stolen, or damaged Equipment and Supplies.

All Vendor-owned Equipment and Supplies must be removed from the Park within seven (7) days of the last day of this Agreement unless a storage arrangement is approved by the Planning and Community Development Director or designee.

SAFETY AND SAFETY EQUIPMENT

Vendor will operate the Services and use the Premises according to accepted industry and US Coast Guard approved standards. When in or on the water, every patron will, at all times and without exception, wear a personal flotation device that is Coast Guard approved and meets additional "safe for use" guidelines. Vendor staff must be trained in recreational water safety standards and must be present and on site at all times during water activities. Patrons and users must be provided safety instructions and taught how to properly enter and exit the water, and navigate their watercrafts.

Vendor shall comply with all Washington State and US Coast Guard water safety laws. Vendor must have written rules and procedures for water activities, including an emergency action plan specific to the Premises location. In addition, Vendor staff must be First Aid and CPR-certified, and First Aid kits must be located on site and accessible to staff. The standards and requirements of this section have been promised to the City by Vendor according to standards and requirements, and shall not be responsible for Vendor's adherence to them.

TERMINATION OF AGREEMENT

In the event Vendor breaches any term of this Agreement, or in the event Vendor violates any local, City County, State or Federal laws applicable to its operations and activities hereunder, the City may terminate this Agreement upon ten (10) days written notice to Vendor. However, the City Administrator or his/her designee may order Vendor to cease operations or the Services immediately should the city Administrator or his/her designee determine such operations or Services are detrimental to public safety, health or welfare. In the event of termination, Vendor agrees the City shall have the right to dispose of all Equipment and Supplies and other property used by Vendor in its operations and Services that has not been removed by Vendor by the ending date of this Agreement. Notwithstanding the foregoing, each Party reserves the right to terminate or suspend this Agreement at any time, with or without cause, by giving twenty (20) days' notice.

ADDITIONAL PROVISIONS



If any Exhibit or other document which is a part of the Agreement conflicts with this Agreement, this Agreement shall prevail. Vendor's representations and commitments in Exhibit A shall be binding on Vendor.

EXTENT OF AGREEMENT/MODIFICATION

This Agreement is the final and completely integrated Agreement between the Parties regarding its subject matter and supersedes all prior negotiations, representations or agreements, either written or oral. This Agreement may only be amended by written instrument properly signed by both Parties.

SUCCESSORS AND ASSIGNS

Vendor shall not assign, transfer, or otherwise dispose of the Agreement or any part of this Agreement without the written prior consent of the City.

NONDISCRIMINATION

Vendor shall ensure that there shall be no unlawful discrimination against any employee or applicant for employment in violation of RCW 49.60.180, as currently written or hereafter amended, or other applicable law prohibiting discrimination, unless based upon a bonafide occupational qualification as provided in RCW 49.60.180 or as otherwise permitted by other applicable law. Further, no person shall be denied or subjected to discrimination in receipt of the benefit of any services or activities made possible by or resulting from this Agreement in violation of RCW 49.60.215 or other applicable law prohibiting discrimination.

CITY OF LAKE STEVENS

PADDLE BROZ, LLC

By: _____
John Spencer, Mayor

By: _____

Printed Name/Title

Dated: _____

Dated: _____

ATTEST:

APPROVED AS TO FORM:

By: _____
Barbara Stevens, City Clerk

By: _____
Grant K Weed, City Attorney



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LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda

Date: April 11, 2017

Subject: Approve Affordable Housing Agreement Funding

Contact	Russ Wright, Director	Budget	
Person/Department:	<u>Community Development</u>	Impact:	<u>\$2,836</u>

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL: Approve funding for the Alliance for Housing Affordability in the amount of \$2,836.

SUMMARY/BACKGROUND: In 2013 the City entered into an Interlocal Agreement for the Inter-Jurisdictional Housing Committee, now known as the Alliance for Housing Affordability (AHA). Participating agencies include Snohomish County and the cities of Edmonds, Everett, Granite Falls, Lynnwood, Marysville, Mill Creek, Mountlake Terrace, Mukilteo, Snohomish and Woodway, and the Housing Authority of Snohomish County. The Bill & Melinda Gates Foundation provides grant funding to AHA. Participating agencies make an annual contribution to the Alliance for Housing Affordability which is calculated using a formula based on the agency's population (**Attachment A**). This year Lake Stevens is being asked to contribute \$2,836.

Through AHA, Snohomish County cities work together to address affordable housing issues on a regional basis. Each year the AHA board recommends a budget. City Councils then approve that budget.

AHA has started preliminary discussions to strategize how to establish a funding source to assist with the construction of new affordable housing. This is one of the long-term goals for AHA. In addition to providing housing expertise to the city, AHA provides a forum for collaboration with other municipalities to address the regional problem of the lack of affordable housing in Snohomish County. The 2017-2018 work plan is attached for your reference as **Attachment B**.

APPLICABLE CITY POLICIES: N/A

BUDGET IMPACT: \$2,836 - Professional Services Budget

ATTACHMENTS:

Attachment A – 2017-2018 Budget

Attachment B – 2017-18 Work Plan

ALLIANCE FOR HOUSING AFFORDABILITY

PROPOSED FY2018 OPERATING BUDGET¹

	Jurisdictions	HASCO	Total
Revenues			
FY18 Revenue	\$71,752	\$53,505	\$125,257
Total FY18 Revenue	\$71,752	\$53,505	\$125,257
Expenses			
1.0 FTE Program Manager	\$37,301	\$30,834	\$68,135
Fringe Benefits @ 39%	\$26,572		\$26,572
Local Travel / Mileage	\$1,407		\$1,407
Audit	\$1,000		\$1,000
Software, Data, and Consulting	\$5,472		\$5,472
Total FY18 Expenses	\$71,752	\$30,834	\$102,586
HASCO Staff Time (In Kind)		\$12,000	\$12,000
Overhead @ 10% (In Kind)		\$10,671	\$10,671
Total FY18 Expenses and In Kind	\$71,752	\$53,505	\$125,257

PROPOSED FY2018 MEMBER CONTRIBUTIONS

Joint Board Members	2015 Population	% of Subtotal	FY2018 Contribution	% Increase from FY2017
SMALL JURISDICTIONS				
Granite Falls	3,390	-	\$1,639	3%
Snohomish	9,270	-	\$1,639	3%
Stanwood	6,530	-	\$1,639	3%
Woodway	1,310	-	\$1,639	3%
Small Jurisdictions Subtotal	20,500	-	\$6,556	
LARGE JURISDICTIONS				
Arlington	18,490	2.69%	\$1,754	8%
County (Unincorporated)	330,260	48.06%	\$31,330	11%
Edmonds	40,490	5.89%	\$3,841	9%
Everett	105,800	15.39%	\$10,037	9%
Lake Stevens	29,900	4.35%	\$2,836	10%
Lynnwood	36,420	5.30%	\$3,455	9%
Marysville	64,140	9.33%	\$6,085	10%
Mill Creek	19,760	2.88%	\$1,875	13%
Mountlake Terrace	21,090	3.07%	\$2,001	11%
Mukilteo	20,900	3.04%	\$1,983	10%
Large Jurisdictions Subtotal	687,250	100.00%	\$65,196	
HOUSING AUTHORITY				
HASCO			\$53,505	

1. FY2018 is July 1, 2017 to June 30, 2018. The AHA Joint Board accepted this budget in May 2016 for councils' review and appropriation by 2/28/2017. The AHA Joint Board must adopt this final budget by 3/31/2017.

FY2018 Draft Work Plan (July 2017 – June 2018)

I. Synthesize/Analyze Data

- a. Continue to identify data gaps and develop strategies for resolving them, including updating the Affordable Housing Rental Inventory of Snohomish County
- b. Track market and demographic changes over time, including information on new and expiring affordable housing, funding sources, income restrictions, condition, and surrounding public infrastructure
- c. Prepare housing profiles for new members

2. Provide Technical Expertise

- a. Respond to research requests from Joint Board members, actively seek out new projects
- b. Support jurisdictions in the development and implementation of new housing strategies and performance evaluation of existing strategies
 - a. Develop model dedicated housing strategy
- c. Develop and expand range of educational materials, including working definitions of housing concepts and programs, best practices, case studies, and visual aids

3. Education and Outreach

- a. Develop a strategy and tools to educate elected officials about affordable housing and the roles they can play in educating others about their jurisdictions' affordable housing needs and in obtaining funding for housing
 - Research legislative changes, legislative agendas, and funded projects
 - Design workshop for elected officials to better inform them of housing issues and funding opportunities/challenges/processes
 - Present regularly to participant city councils on affordable housing issues in the context of their city
 - Identify elected officials who could serve as primary contact points for federal/state elected officials and federal/state agencies that provide housing funding
- b. Facilitate collaboration on housing policies and priorities, including connecting Alliance members with relevant state and federal elected officials and agencies
 - Collaborate with Housing Consortium of Everett and Snohomish County on housing advocacy
- c. Assure that the community and stakeholders are aware of the Alliance's mission, resources, and accomplishments

4. Grants and Financial

- a. Track upcoming funding opportunities and newly funded projects
- b. Research strategies for leveraging CDBG and other funds
- c. Explore common strategies to pursue funding to be used by cities individually or collectively
- d. Study potential new revenue generation tools that can be used to fund projects
 - a. Identify specific locations for potential affordable housing development, including preservation of existing affordable housing



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LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda

Date: April 11, 2017

Subject: Establish Salary Range for Human Resources Director

Contact

Person/Department: Gene Brazel, City Administrator

Budget

Impact: N/A

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL: Approve the Salary Range for Human Resources Director as \$8,213.05 to \$10,287.38.

SUMMARY/BACKGROUND: This year during the 2017 Council Retreat one priority identified was to ensure Lake Stevens has competitive pay with comparable sized cities. Mayor and staff took this direction and assembled a 2017 salary comparison for the Director positions, Police Chief, City Engineer and City Administrator using cities in Washington State with a population of 30,000-50,000. To add to this comparison, a city just below 30,000, and just above 50,000 were included. The cities and associated populations used for this survey came directly from MRSC and the pay ranges came directly from the 2016 AWC Salary Survey. Because 2017 AWC Salary numbers are not published until around July of every year, a 2.5% COLA was added in the "Average 2.5%" category. Another common methodology to assemble a salary survey is to look at comparable city functions, ability to pay and size; however, the outcome is likely to result in a similar average.

Currently there is a vacancy in the Human Resources Director position and it is my recommendation that an adjustment is made to this pay range in an effort to provide competitive pay when recruiting for this position. It is also my recommendation to review the remainder of the positions and plan for pay range adjustments as appropriate to maintain that competitive comparable pay.

APPLICABLE CITY POLICIES: N/A

BUDGET IMPACT: N/A

ATTACHMENTS:

Attachment A: Salary Survey

	Human Resources Director		Finance Director	
	Low	High	Low	High
Average	\$ 8,213.05	\$ 10,287.38	\$ 9,716.49	\$ 12,143.30
Lake Stevens	\$ 7,235.88	\$ 8,955.60	\$ 8,810.15	\$ 11,067.34
Difference	\$ 977.17	\$ 1,331.78	\$ 906.34	\$ 1,075.96
12 Months		\$ 15,981.34		\$ 12,911.56
7 Months		\$ 9,322.45		\$ 7,531.74
Benefits		\$ 932.24		\$ 753.17
BA		\$ 10,254.69		\$ 8,284.92

Compensation
 Comparable Cities Analysis

Positions		City Administrator		Public Works Director		City Engineer		Planning Community Development Director		Human Resources Director		Finance Director		Police Chief	
Cities	Population	Low	High	Low	High	Low	High	Low	High	Low	High	Low	High	Low	High
1 SeaTac	27,810	\$ -	\$ -	\$ 10,244.00	\$ 13,113.00	\$ 9,054.00	\$ 11,590.00	\$ 10,244.00	\$ 13,113.00	\$ 7,431.00	\$ 9,513.00	\$ 10,244.00	\$ 13,113.00	\$ -	\$ -
3 Des Moines	30,570	\$ 11,632.00	\$ 14,139.00	\$ 9,833.00	\$ 11,952.00	\$ 8,666.00	\$ 10,534.00	\$ -	\$ -	\$ 7,408.00	\$ 9,004.00	\$ 9,833.00	\$ 11,952.00	\$ 10,226.00	\$ 12,430.00
4 University Place	32,230	\$ 12,927.00	\$ 12,927.00	\$ 8,610.00	\$ 11,330.00	\$ 8,092.00	\$ 10,648.00	\$ 8,610.00	\$ 11,330.00	\$ 6,608.00	\$ 8,696.00	\$ 8,610.00	\$ 11,330.00	\$ -	\$ -
5 Pullman	32,650	\$ 9,109.00	\$ 11,072.00	\$ 8,513.00	\$ 10,347.00	\$ -	\$ -	\$ 7,436.00	\$ 9,038.00	\$ 5,708.00	\$ 7,026.00	\$ 7,436.00	\$ 9,038.00	\$ 7,956.00	\$ 9,671.00
6 Walla Walla	33,340	\$ 12,846.00	\$ 12,846.00	\$ 9,550.00	\$ 11,619.00	\$ 7,794.00	\$ 9,482.00	\$ 7,794.00	\$ 9,482.00	\$ 7,040.00	\$ 8,565.00	\$ 8,627.00	\$ 10,496.00	\$ 9,550.00	\$ 11,619.00
7 Wenatchee	33,510	\$ -	\$ -	\$ 7,946.00	\$ 9,750.00	\$ 7,192.00	\$ 8,825.00	\$ 7,742.00	\$ 9,500.00	\$ 6,927.00	\$ 8,500.00	\$ 7,742.00	\$ 9,500.00	\$ 8,149.00	\$ 10,000.00
8 Mount Vernon	33,730	\$ -	\$ -	\$ 8,660.00	\$ 10,104.00	\$ -	\$ -	\$ 8,660.00	\$ 10,104.00	\$ 7,643.00	\$ 8,918.00	\$ 8,660.00	\$ 10,104.00	\$ 8,950.00	\$ 10,442.00
9 Issaquah	34,590	\$ 12,341.00	\$ 16,857.00	\$ 11,196.00	\$ 15,287.00	\$ 8,355.00	\$ 11,408.00	\$ 11,196.00	\$ 15,287.00	\$ 10,155.00	\$ 13,868.00	\$ 11,196.00	\$ 15,287.00	\$ 11,196.00	\$ 15,287.00
10 Lynnwood	36,590	\$ -	\$ -	\$ 11,167.00	\$ 14,378.00	\$ 10,062.00	\$ 12,953.00	\$ 10,062.00	\$ 12,953.00	\$ 10,062.00	\$ 12,953.00	\$ 11,167.00	\$ 14,378.00	\$ 11,326.00	\$ 14,581.00
11 Longview	37,230	\$ 10,128.00	\$ 13,675.00	\$ 7,556.00	\$ 10,204.00	\$ 6,584.00	\$ 8,890.00	\$ 6,812.00	\$ 9,197.00	\$ 6,812.00	\$ 9,197.00	\$ -	\$ -	\$ 7,556.00	\$ 10,204.00
12 Puyallup	39,850	\$ 12,500.00	\$ 12,500.00	\$ 8,679.00	\$ 11,284.00	\$ 7,761.00	\$ 10,091.00	\$ 8,679.00	\$ 11,284.00	\$ -	\$ -	\$ 8,679.00	\$ 11,284.00	\$ 10,040.00	\$ 13,052.00
13 Bremerton	40,500	\$ -	\$ -	\$ 9,804.00	\$ 11,945.00	\$ 8,882.00	\$ 10,822.00	\$ 9,331.00	\$ 11,369.00	\$ 6,938.00	\$ 8,454.00	\$ 9,803.00	\$ 11,945.00	\$ 10,300.00	\$ 12,550.00
14 Edmonds	40,900	\$ -	\$ -	\$ 10,425.00	\$ 12,887.00	\$ 8,722.00	\$ 11,689.00	\$ 9,159.00	\$ 12,273.00	\$ 7,176.00	\$ 9,617.00	\$ 9,159.00	\$ 12,273.00	\$ 10,097.00	\$ 13,531.00
15 Bothell	43,980	\$ 15,672.00	\$ 15,672.00	\$ 9,905.00	\$ 12,593.00	\$ 8,754.00	\$ 11,130.00	\$ 9,905.00	\$ 12,593.00	\$ 9,905.00	\$ 12,593.00	\$ 9,905.00	\$ 12,593.00	\$ 10,666.00	\$ 13,561.00
16 Lacey	47,540	\$ 12,495.00	\$ 12,495.00	\$ 11,856.00	\$ 11,856.00	\$ 10,463.00	\$ 10,463.00	\$ 9,926.00	\$ 9,926.00	\$ 11,107.00	\$ 11,107.00	\$ 11,121.00	\$ 11,121.00	\$ 12,943.00	\$ 12,943.00
17 Burien	50,000	\$ 12,917.00	\$ 12,917.00	\$ 9,955.00	\$ 12,101.00	\$ 8,585.00	\$ 10,435.00	\$ 9,955.00	\$ 12,101.00	\$ -	\$ -	\$ 9,955.00	\$ 12,101.00	\$ -	\$ -
18 Marysville	64,940	\$ 15,288.00	\$ 15,288.00	\$ 10,063.00	\$ 13,539.00	\$ 7,835.00	\$ 10,239.00	\$ 9,535.00	\$ 13,039.00	\$ 9,271.00	\$ 12,536.00	\$ 9,535.00	\$ 13,039.00	\$ 10,063.00	\$ 13,539.00
2 Lake Stevens	30,900	\$ 13,046.00	\$ 13,046.00	\$ 9,000.00	\$ 11,296.00	\$ 8,823.95	\$ 11,074.76	\$ 8,925.00	\$ 11,704.50	\$ 7,235.88	\$ 8,955.60	\$ 8,810.15	\$ 11,067.34	\$ 10,200.00	\$ 12,335.88
Average		\$ 12,532.27	\$ 12,532.33	\$ 9,644.82	\$ 12,017.00	\$ 8,453.40	\$ 10,613.27	\$ 9,065.38	\$ 11,411.81	\$ 8,012.73	\$ 10,036.47	\$ 9,479.50	\$ 11,847.13	\$ 9,929.86	\$ 12,386.43
Average 2.5%		\$ 12,845.58	\$ 12,845.64	\$ 9,885.94	\$ 12,317.43	\$ 8,664.74	\$ 10,878.60	\$ 9,292.01	\$ 11,697.11	\$ 8,213.05	\$ 10,287.38	\$ 9,716.49	\$ 12,143.30	\$ 10,178.10	\$ 12,696.09
Median		\$ 12,500.00	\$ 12,927.00	\$ 9,833.00	\$ 11,945.00	\$ 8,585.00	\$ 10,534.00	\$ 9,245.00	\$ 11,349.50	\$ 7,408.00	\$ 9,197.00	\$ 9,535.00	\$ 11,945.00	\$ 10,080.00	\$ 12,746.50
Median 2.5%		\$ 12,812.50	\$ 13,250.18	\$ 10,078.83	\$ 12,243.63	\$ 8,799.63	\$ 10,797.35	\$ 9,476.13	\$ 11,633.24	\$ 7,593.20	\$ 9,426.93	\$ 9,773.38	\$ 12,243.63	\$ 10,332.00	\$ 13,065.16
Average 1st Quartile		\$ 11,632.00	\$ 12,500.00	\$ 8,635.00	\$ 10,815.50	\$ 7,794.00	\$ 10,091.00	\$ 7,998.00	\$ 9,606.50	\$ 6,927.00	\$ 8,565.00	\$ 8,635.25	\$ 10,652.25	\$ 8,749.75	\$ 10,382.50
Average 1st Quartile 2.5%		\$ 11,922.80	\$ 12,812.50	\$ 8,850.88	\$ 11,085.89	\$ 7,988.85	\$ 10,343.28	\$ 8,197.95	\$ 9,846.66	\$ 7,100.18	\$ 8,779.13	\$ 8,851.13	\$ 10,918.56	\$ 8,968.49	\$ 10,642.06
Average 2nd Quartile		\$ 12,500.00	\$ 12,927.00	\$ 9,833.00	\$ 11,945.00	\$ 8,585.00	\$ 10,534.00	\$ 9,245.00	\$ 11,349.50	\$ 7,408.00	\$ 9,197.00	\$ 9,669.00	\$ 11,948.50	\$ 10,080.00	\$ 12,746.50
Average 2nd Quartile 2.5%		\$ 12,812.50	\$ 13,250.18	\$ 10,078.83	\$ 12,243.63	\$ 8,799.63	\$ 10,797.35	\$ 9,476.13	\$ 11,633.24	\$ 7,593.20	\$ 9,426.93	\$ 9,910.73	\$ 12,247.21	\$ 10,332.00	\$ 13,065.16



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LAKE STEVENS CITY COUNCIL
STAFF REPORT

Council Agenda

Date: April 11, 2017

Subject: Services Agreement with Strategies 360

Contact

Person/Department: Gene Brazel, City Administrator

Budget

Impact: \$4,000/month

RECOMMENDATION(S)/ACTION REQUESTED OF COUNCIL: Authorize the Mayor to enter into a Services Agreement with Strategies 360 to assist City officials and staff to develop and implement a federal advocacy and communications strategy tailored to its federal policy and funding priorities, with a special focus on activities in pursuit of funding the U.S. 2 Everett Trestle project, in the amount of \$4,000/month.

SUMMARY/BACKGROUND: The City has identified improvements to the U.S. 2 Trestle to relieve traffic congestion and improve connectivity as a priority. In both 2016 and 2017 City officials traveled to Washington, DC to attend the National League of Cities conference. During both visits officials met with elected representatives including Senators Patty Murray and Suzan DelBene. Both meetings, and particularly the 2017 meetings, have generated strong support from Washington state's elected officials to assist the City in developing a strategy to fund the necessary improvements to the U.S. 2 Trestle.

To that end the City worked with lobbyists Strategies 360 while in Washington DC in 2017, and the City wishes to continue to work with Strategies 360 to seek funding for the needed U.S. 2 Trestle improvements. Strategies 360 is experienced in working with elected officials and staff to identify and obtain federal funding that may be available to assist with the U.S. 2 Trestle improvements, and move this necessary project forward.

APPLICABLE CITY POLICIES: N/A

BUDGET IMPACT: \$4,000/month

ATTACHMENTS:

Attachment A: Strategies 360 Services Agreement



SERVICES AGREEMENT

This services agreement is entered into by and between Strategies 360, Inc. (“Consultant”) with its principal offices at 1505 Westlake Ave N, Suite 1000, Seattle, Washington, 98109, and **City of Lake Stevens** (“Client”), with its principal address being **1812 Main St., P.O. Box 257, Lake Stevens, WA 98258** hereinafter sometimes referred to collectively as the “Parties”.

RECITALS

- A. Client wishes to contract with Consultant to provide services in the field of **Federal Government Affairs**, on the terms and conditions set forth herein.
- B. Consultant is willing and qualified to perform such services.

In consideration of the above Recitals and the mutual promises and agreements contained herein, the Parties agree as follows:

1. Scope of Services. Consultant is retained and appointed to implement the services outlined in the attached Appendix A, which are designed to accomplish the Federal Government Affairs objectives of the Client. Consultant shall use Consultant’s best efforts to perform Services such that the results are satisfactory to Client.
2. Contract Administration; Communications. Consultant's employees will be responsible for performing services under this Agreement. Client and Consultant shall identify and maintain a mutually agreeable communication process to keep Client fully and currently informed about activities of Consultant on behalf of Client. Consultant will work closely with other consultants, team members, and related organizations and individuals as designated by Client, and as necessary to accomplish the objectives of the Client.
3. Compensation. Consultant will perform the scope of services described in this Agreement for a monthly fee of **\$4,000**. See Appendix A. Expenses shall be capped at \$100 a month and any expense over that amount needs prior approval from the City of Lake Stevens.

Consultant’s fees for service do not include additional costs deemed necessary by Client such as creating and printing materials, conducting public opinion research (e.g. polling), and providing other strategic and/or support services as requested by the Client.

4. Expenses. In addition to compensation payable to Consultant pursuant to this Agreement, Client will reimburse consultant for costs and disbursements including transportation and travel costs, food, lodging and automobile mileage at the applicable federal rate per business mile, and for necessary entertainment. Consultant shall include an accounting of costs and disbursements and the amount owed on the periodic statements rendered to Client. Total monthly charges to Client will not exceed 10% of monthly service retainer without advance approval from Client.

5. Payment. Consultant shall send monthly statements to the Client on the first day of each month of service for the fees jointly agreed by the Parties. Client shall pay Consultant's fees in full by the 15th day of each month of service.
6. Confidential Matters and Proprietary Information. The Consultant shall keep in strictest confidence all information that may be acquired in connection with or as a result of the Agreement. The Consultant shall not publish, communicate, divulge, disclose or use any of such information, which has been designated by Client as proprietary or confidential or which from the surrounding circumstances in good conscience ought to be treated by the Consultant as proprietary or confidential, without the prior written consent of Client. Upon termination or expiration of the Agreement, the Consultant shall deliver all records, data, information, and other documents and all copies thereof to Client, which shall remain the property of Client.
7. Conflict of Interest. The Consultant hereby warrants that there is no conflict of interest in the Consultant's other contracts or other employment with the activities to be performed hereunder and shall advise if a conflict arises in the future.
8. Independent Contractor. In all matters relating to this Agreement, the Consultant shall be acting as an independent contractor. The Consultant is not an employee of Client under the meaning or application of any Federal or State Unemployment or Insurance Laws or Workers' Compensation Laws, and the Consultant shall assume all liabilities and obligations imposed by any one or more of such laws. Consultant will work with the Client to determine the time, the place and the manner in which it will accomplish its services within an overall schedule date established by Client. The Consultant shall not have any authority to assume or create any obligations, express or implied, on behalf of Client.
9. Entire Agreement. This Agreement constitutes the entire agreement between Client and the Consultant in regard to the subject matter hereof and supersedes all prior or contemporaneous communications, representations, or agreements, whether oral or written, with respect thereto. No agreements hereafter made between the parties shall be binding on either party unless reduced to writing and signed by authorized representatives of the parties.
10. Terms of Service and Termination. This Agreement will commence on April 15, 2017. Either Party may terminate this Agreement without cause by providing the other Party 30 days' notice in writing. Upon termination, Consultant will render Client a bill and within 15 days after receipt of said bill, Client shall pay Consultant in full whatever sums may be due for work performed.
11. Non-Solicitation of Consultant Employees. During the Term of this Agreement and for a period of one (1) year after the termination of this Agreement, Client will not solicit, induce, recruit or encourage directly or indirectly (nor will Client direct, encourage or assist anyone else to solicit, induce, recruit or encourage) any of the Consultant's employees to terminate their employment with Consultant or to work elsewhere.

12. Indemnification and Insurance. Client shall indemnify, defend, and hold harmless Consultant and its directors, officers, and employees from any and all claims arising from or in connection with the performance of services including but not limited to statutory violations, Contractor's independent contractor status, or for injury or death of any and all persons whatsoever and from any and all damage to property. Client and Consultant warrant that they each carry workers' compensation, comprehensive liability, automobile, and other insurance with reasonable coverage and in reasonable amounts sufficient to insure against anticipated risks in connection with services under this Agreement.

By executing this Agreement each signatory affirms that they have read and understand its terms, and that each has the full power and authority to enter this Agreement on behalf of the entity for which they have signed.

Executed in the County of King, Washington:

For: STRATEGIES 360, INC.
1505 Westlake Ave N, Suite 1000
Seattle, Washington 98109
TEL: 206/282-1990 FAX: 206/282-2704

By: _____
Eric Sorenson, President

Date: _____

For: CITY OF LAKE STEVENS
1812 Main St.
P.O. Box 257
Lake Stevens, WA 98258
TEL: 425/334-1012 FAX: 425/334-0835

By: _____
John Spencer, Mayor

Date: _____

Appendix A Scope of Work

S360 will work with City of Lake Stevens' (City or the City) officials and staff to develop and implement a federal advocacy and communications strategy tailored to its federal policy and funding priorities, with a special focus on activities in pursuit of funding the U.S. 2 Everett Trestle project.

Specific activities will include:

- Assisting City officials and staff with determining its federal funding and policy priorities.
- Assisting the City with developing the strategy and executing the tactics necessary to accomplish the City's federal objectives.
- Serving as the City's primary point of contact with Congress and federal agencies in Washington, D.C.
- Representing the City before Congress and the federal agencies on issues or priorities of interest.
- Cultivating and maintaining positive relationships with the City's congressional delegation, other key congressional members, and their personal and committee staff, as well as federal agencies officials, national associations and other public and private entities as necessary to promote City initiatives and interests.
- Alerting/facilitating potential opportunities for public/private partnering opportunities, and working with City officials and staff to build and direct coalitions on federal policy and funding priorities of mutual interest.
- Monitoring and reporting on potential federal funding opportunities, and assisting City staff during the application process, including reviewing grant narratives, alerting the City's Congressional delegation of its intent to apply, and securing letters of support.
- Monitoring and reporting on Congressional activity related to City issues.
- Identifying, analyzing, monitoring and reporting on existing and new laws and rules that may affect the City (e.g. air and water quality, transportation, homeland security and other issues affecting local governments) and advocating on behalf of the City's interests as necessary.
- Researching and advising on congressional appropriations of interest to the City (e.g. transportation and infrastructure, housing and urban development, public safety, etc.).
- Promoting the City's image and enhancing the City's reputation with federal elected officials and their staff in Congress and the federal agencies.
- Assisting the City with strategic communications related to federal policy or funding priorities of interest as necessary, such as the drafting of letters and op-eds.
- Assisting City officials and staff with logistics for trips to Washington, DC for official meetings and conferences (e.g. National League of Cities) including scheduling and prep for meetings with members of Congress and staff, Administration officials, relevant committee staff, and other meetings with organizations relevant to City interests.
- Filing required compliance forms as it relates to federal lobbying.



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